

**CONTACT**

STAN WINGO  
wingo@mcadamsco.com  
PHONE: 919. 361. 5000

**CLIENT**

N3 REAL ESTATE  
1240 N KIMBALL AVE  
SOUTHLAKE, TX, 76092  
PHONE: 817.348.8748



**PROJECT DIRECTORY**

DEVELOPER  
N3 REAL ESTATE  
1240 N KIMBALL AVE, SOUTHLAKE, TX, 76092  
PHONE: 817.348.8748 - COLLEEN THELEN

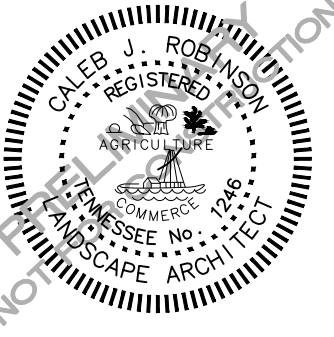
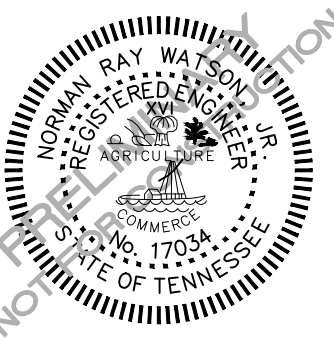
MEP ENGINEER  
COMPANY NAME  
ADDRESS, CITY, STATE, ZIP  
PHONE: XXX. XXX. XXXX

STRUCTURAL ENGINEER  
COMPANY NAME  
ADDRESS, CITY, STATE, ZIP  
PHONE: XXX. XXX. XXXX

GEOTECHNICAL ENGINEER  
COMPANY NAME  
ADDRESS, CITY, STATE, ZIP  
PHONE: XXX. XXX. XXXX

ARCHITECT  
FRANZ ARCHITECTS  
4055 INTL. PLAZA SUITE 100  
FORT WORTH, TX 76109  
PHONE: 817. 737. 9922

SURVEYOR  
POINT TO POINT LAND SURVEYORS  
100 GOVERNORS TRACE SUITE 103  
PEACHTREE CITY, GA, 30269  
PHONE: 678. 565. 4440



**REVISIONS**

NO.	DATE	REVISION DESCRIPTION
1	10. 27. 2021	RESPONSE TO 1ST CITY COMMENTS
2	12. XX. 2021	RESPONSE TO 2ND CITY COMMENTS
3	-	-
4	-	-
5	-	-
6	-	-

**SITE PLAN SUBMITTAL FOR:**  
STRICKLAND BROTHERS OIL CHANGE -  
MURFREESBORO

2375 NEW SALEM HWY  
MURFREESBORO, TN 37128  
PROJECT NUMBER: 2021110738

# STRICKLAND BROTHERS OIL CHANGE - MURFREESBORO

2375 NEW SALEM HWY  
MURFREESBORO, TN 37128



## SITE PLAN SUBMITTAL PROJECT NUMBER: 2021110738 DATE: OCTOBER 14, 2021 REVISED: DECEMBER XX, 2021

**UTILITY CONTACTS:**

WATER  
CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY  
ADDRESS: 709 NEW SALEM HWY. MURFREESBORO, TN 37129  
PHONE: 615-893-7225  
CONTACT: ALAN STUEMKE - ENGINEER  
EMAIL: ASTUEMK@CUDRC.COM

SANITARY SEWER  
MURFREESBORO WATER & SEWER DEPARMENT  
ADDRESS: 300 NW BROAD ST MURFREESBORO, TN 37130  
PHONE: 615-890-0862  
AFTER HOURS EMERGENCIES: 615-893-1223  
CONTACT: VALERIE SMITH - ASST. DIRECTOR OF ENGINEERING  
EMAIL: VSMITH@MURFREESBOROTN.GOV

ELECTRIC  
MIDDLE TENNESSEE ELECTRIC  
ADDRESS: 555 NEW SALEM HWY. MURFREESBORO, TN 37129  
PHONE: 877-777-9020

GAS  
ATMOS ENERGY  
ADDRESS: PO BOX 650205 DALLAS, TX 75265  
PHONE (MAIN): 888-286-6700  
PHONE (EMERGENCY): 866-322-8667

PHONE/INTERNET  
AT&T / COMCAST

**LOCAL PERMITTING DEPARTMENTS  
& CONTACTS:**

MURFREESBORO PLANNING DEPARTMENT  
CONTACT: HOLLY SMYTH - PRINCIPAL PLANNER  
PHONE NUMBER: 615-893-6441  
EMAIL: HSMYTH@MURFREESBOROTN.GOV

MURFREESBORO PLANNING DEPARTMENT  
CONTACT: KATIE NOEL - PLANNING PROJECT ENGINEER  
PHONE: 615-893-6441  
EMAIL: KNOEL@MURFREESBOROTN.GOV

MURFREESBORO ENGINEERING DEPARTMENT  
CONTACT: MICHELE EMERSON - CITY ENGINEER  
PHONE: 615-893-6441  
EMAIL: MEMERSON@MURFREESBOROTN.GOV

MURFREESBORO BUILDING & CODES (SIGNAGE REGULATIONS)  
CONTACT: TERESA STEVENS - SIGN ADMINISTRATOR  
PHONE: 615-893-3750  
EMAIL: TSTEVENS@MURFREESBOROTN.GOV

MURFREESBORO FIRE & RESCUE DEPARTMENT  
CONTACT: CARL PEAS - FIRE MARSHALL  
PHONE: 615-893-1422  
EMAIL: CPEAS@MURFREESBOROTN.GOV

**CONSTRUCTION ENTRANCE COORDINATES:**

LATITUDE: 35° 48' 49.6" N  
LONGITUDE: 86° 26' 34.7" W

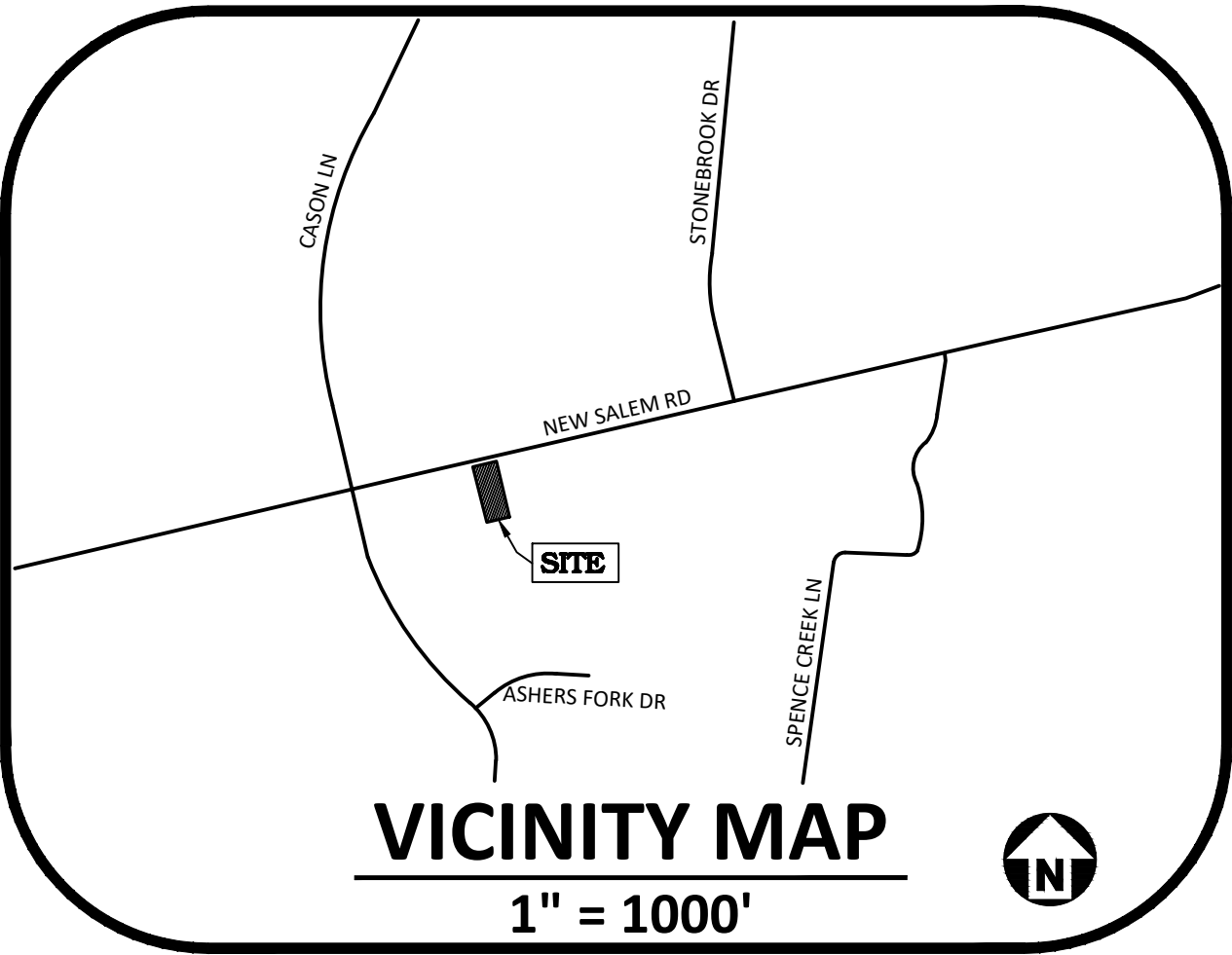
**FEMA FLOODPLAIN NOTE:**

- THE SUBJECT PARCEL IS LOCATED WITHIN ZONE X (FUTURE CONDITIONS 1% ANNUAL CHANGE FLOOD HAZARD) PER FEMA FLOOD MAP NUMBER 47149C0255H DATED 06/05/2007.

**PROJECT NARRATIVE:**

THE PROPOSED DEVELOPMENT IS LOCATED WITHIN THE CITY OF MURFREESBORO, TENNESSEE NEAR THE INTERSECTION OF NEW SALEM HWY AND CASON LN. THE CURRENT USE IS A VACANT 0.724 ACRE LOT. A COMMERCIAL OIL CHANGE BUILDING WITH UTILITY, PARKING AND STORMWATER SYSTEM IS PROPOSED TO REPLACE THE VACANT LOT. A 50' JOINT ACCESS EASEMENT WILL BE SHARED WITH THE NEIGHBORING PARCEL TO THE WEST.

REGULATORY SITE DATA			
PIN	PORTION OF PIN # 114-015.01-000		
ROADWAY	NEW SALEM HWY		
SITE AREA	31,521 SF / 0.7236 AC		
BASE ZONING	CH (HIGHWAY COMMERCIAL)		
EXISTING USE	VACANT		
PROPOSED USE	COMMERCIAL / OIL CHANGE BUILDING (PERMITTED IN CH ZONING AS MOTOR VEHICLE SERVICE)		
DISTURBED AREA	1.20 ACRES		
PROPOSED BLDG	1,700 SF - HEIGHT: 29'-2" (MAX HEIGHT 75') - 3 INDOOR SERVICE STALLS		
IMPERVIOUS GROUND COVERAGE	EXISTING	0 SF = 0 AC (0%)	
	PROPOSED	20,614 SF = 0.473 AC (66%)	
VEHICULAR PARKING	REQUIRED	1 PER 500 SF OF FLOOR AREA = 4 SPACES 2 PER INDOOR SERVICE STALL = 6 SPACES	10 SPACES TOTAL
	PROPOSED	10 REGULAR SPACES + 1 ADA SPACE = 11 SPACES TOTAL	
BIKE PARKING	REQUIRED	0 SPACES	
	PROPOSED	0 SPACES	
ACCESSIBLE PARKING	REQUIRED	1 SPACES	
	PROPOSED	1 SPACES	
ACCESSIBLE VAN PARKING	REQUIRED	1/2 ACC. SPACES = 1 SPACES	
	PROPOSED	1 SPACES	
PLANTING YARD TREE COVERAGE	REQUIRED	14 SHADE TREES   16 SHRUBS	
	PROPOSED	14 SHADE TREES   18 SHRUBS	
SETBACKS	FRONT	42 FEET	
	REAR	20 FEET	
	SIDE	0 FEET	
SEWER TYPE	PUBLIC / CITY OF MURFREESBORO WATER RESOURCES		
REFUSE COLLECTION TYPE	DUMPSTER / PRIVATE GARBAGE COMPANY		
# OF LOT(S)	1		



**Sheet List Table**

C0.01	ALTA
C0.02	FINAL PLAT
C1.00	EXISTING CONDITIONS
C1.01	DEMOLITION PLAN
C2.00	SITE PLAN
C2.01	PAVEMENT MARKING PLAN
C3.00	GRADING AND DRAINAGE PLAN
C3.01	DRAINAGE BASIN AREA EXHIBIT
C4.00	UTILITY PLAN
C4.01	SEWER PROFILES
C6.00	EROSION CONTROL PLAN
C6.01	EROSION CONTROL DETAILS
C8.00	SITE DETAILS
C8.01	UTILITY DETAILS
C8.02	STORM DETAILS
L5.00	LANDSCAPE PLAN
L5.01	LANDSCAPE DETAILS
L6.00	LIGHTING PLAN (BY OTHERS)
A2.0	EXTERIOR ELEVATIONS (BY OTHERS)
A2.1	EXTERIOR ELEVATIONS (BY OTHERS)
A-0.3	TRASH ENCLOSURE (BY OTHERS)
A-3.0	PICTURES (BY OTHERS)



Know what's below.  
Call before you dig.

**24 HR CONTACT:**  
COLLEEN THELEN  
CONSTRUCTION & ASSET MANAGER  
N3 REAL ESTATE  
TEL: 609.651.9327  
EMAIL: CTHELEN@N3REALESTATE.COM



TITLE EXCEPTIONS

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT DATE OF JUNE 24, 2021 AT 7:30 A.M., BEING COMMITMENT NO. 1002-340755-RTT, FOR THE SUBJECT PROPERTY, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

10. ALL MATTERS SHOWN ON PLAT(S) OF RECORD IN PLAT BOOK 29, PAGE 271; PLAT BOOK 34, PAGE 240; PLAT BOOK 37, PAGE 110; PLAT BOOK 38, PAGE 24; AND PLAT BOOK 42, PAGE 249, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

ITEMS APPLICABLE TO THE SUBJECT PROPERTY ARE PLOTTED HEREON.

11. EASEMENT FROM C. S. JENNINGS; AND MRS. MARCELLA JENNINGS TO THE MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION, ITS SUCCESSORS AND ASSIGNS, FOREVER, OF RECORD IN DEED BOOK 82, PAGE 538, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

[BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

12. TERMS AND PROVISIONS OF RIGHT OF WAY EASEMENT, BY AND BETWEEN MARCELLA K. JENNINGS (WIDOW OF C.S. JENNINGS) AND COLONIAL PIPELINE COMPANY, A DELAWARE CORPORATION, ITS SUCCESSORS AND ASSIGNS, OF RECORD IN DEED BOOK 147, PAGE 130, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

[BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

13. TERMS AND PROVISIONS OF RIGHT OF WAY EASEMENT, BY AND BETWEEN GEORGE STEAGALL; AND VICKY (AKA VICKIE) M. STEAGALL, HIS WIFE AND COLONIAL PIPELINE COMPANY, A DELAWARE CORPORATION, ITS SUCCESSORS AND ASSIGNS, OF RECORD IN DEED BOOK 147, PAGE 213, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

[BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

14. TERMS AND PROVISIONS OF RIGHT OF WAY EASEMENT, BY AND BETWEEN GEORGE STEAGALL; AND VICKY (AKA VICKIE) M. STEAGALL, HIS WIFE AND COLONIAL PIPELINE COMPANY, A DELAWARE CORPORATION, ITS SUCCESSORS AND ASSIGNS, OF RECORD IN DEED BOOK 151, PAGE 279, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

[BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

15. TERMS AND PROVISIONS OF RIGHT OF WAY EASEMENT, BY AND BETWEEN MARCELLA K. JENNINGS (WIDOW OF C.S. JENNINGS) AND COLONIAL PIPELINE COMPANY, A DELAWARE CORPORATION, ITS SUCCESSORS AND ASSIGNS, OF RECORD IN DEED BOOK 151, PAGE 415, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

[BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

16. EASEMENT(S) GRANTED STATE OF TENNESSEE, ON RELATION OF THE COMMISSIONER OF THE DEPARTMENT OF TRANSPORTATION, FOR AND ON BEHALF OF SAID DEPARTMENT BY CONSENT JUDGMENT AND FINAL DECREE OF RECORD IN BOOK 517, PAGE 86, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

[BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

17. GRANT OF TRANSMISSION LINE EASEMENT FROM SHARON R. CHEESEBREW; JEFFREY E. RIVERS; AND CLAUDETTE RIVERS KHYM TO UNITED STATES OF AMERICA, OF RECORD IN BOOK 659, PAGE 534, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

[BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

18. GRANT OF TRANSMISSION LINE EASEMENT FROM M.T. BONABI, AN UNMARRIED PERSON TO UNITED STATES OF AMERICA, OF RECORD IN RECORD BOOK 11, PAGE 422, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

[BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

19. TERMS AND PROVISIONS OF SANITARY SEWER EASEMENT, BY AND BETWEEN SHARON R. CHEESEBREW; JEFFREY E. RIVERS; AND CLAUDETTE RIVERS KHYM AND CITY OF MURFREESBORO, A MUNICIPAL CORPORATION, ITS SUCCESSORS AND ASSIGNS, OF RECORD IN RECORD BOOK 165, PAGE 2070, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

[BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

20. TERMS AND PROVISIONS OF SUBDIVISION EASEMENT AND STREET GRANT EASEMENT, BY AND BETWEEN THREE RIVERS OF RUTHERFORD LLC AND CITY OF MURFREESBORO, ITS SUCCESSORS AND ASSIGNS, OF RECORD IN RECORD BOOK 661, PAGE 3061, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

[BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

21. EASEMENT(S) GRANTED STATE OF TENNESSEE, ON RELATION OF THE COMMISSIONER OF THE DEPARTMENT OF TRANSPORTATION, FOR AND ON BEHALF OF SAID DEPARTMENT BY ORDER OF CONDEMNATION AND APPROPRIATION OF RECORD IN RECORD BOOK 1635, PAGE 2733, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

ITEMS APPLICABLE TO THE SUBJECT PROPERTY ARE PLOTTED HEREON.

22. TERMS AND PROVISIONS OF PERMANENT ELECTRIC UTILITY EASEMENT, BY AND BETWEEN BART GORDON; AND LESLIE GORDON AND CITY OF MURFREESBORO, A MUNICIPAL CORPORATION, ITS SUCCESSORS AND ASSIGNS, OF RECORD IN RECORD BOOK 1693, PAGE 2339, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

[THIS ITEM IS APPLICABLE TO THE SUBJECT PROPERTY AND IS PLOTTED HEREON.]

23. TERMS AND PROVISIONS OF RIGHT-OF-WAY AND EASEMENT, BY AND BETWEEN BART GORDON AND LESLIE GORDON, HUSBAND AND WIFE AND ATMOS ENERGY CORPORATION, A TEXAS AND VIRGINIA CORPORATION, OF RECORD IN RECORD BOOK 1705, PAGE 1825, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

[THIS ITEM IS APPLICABLE TO THE SUBJECT PROPERTY AND IS PLOTTED HEREON.]

24. TERMS AND PROVISIONS OF SUBDIVISION EASEMENT AND STREET GRANT EASEMENT, BY AND BETWEEN BART GORDON; AND LESLIE GORDON AND CITY OF MURFREESBORO, ITS SUCCESSORS AND ASSIGNS, OF RECORD IN RECORD BOOK 1746, PAGE 2587, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

ITEMS DEPICTED ON PLAT BOOK 42 PAGE 249 WHICH ARE APPLICABLE TO THE SUBJECT PROPERTY ARE SHOWN HEREON.

25. TERMS AND PROVISIONS OF EASEMENT AND RESTRICTION AGREEMENT, BY AND BETWEEN BART GORDON AND LESLIE P. GORDON, HUSBAND AND WIFE AND WAFFLE HOUSE, INC., A GEORGIA CORPORATION, OF RECORD IN RECORD BOOK 1748, PAGE 3721, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

ITEMS APPLICABLE TO THE SUBJECT PROPERTY ARE PLOTTED HEREON.

26. TERMS AND PROVISIONS OF SANITARY SEWER EASEMENT, BY AND BETWEEN BART GORDON AND WIFE, LESLIE GORDON AND CITY OF MURFREESBORO, A MUNICIPAL CORPORATION, ITS SUCCESSORS AND ASSIGNS, OF RECORD IN RECORD BOOK 1763, PAGE 1900, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

[THIS ITEM IS PLOTTED HEREON.]

MEMBERS NOTIFIED

TICKET #: 212121040

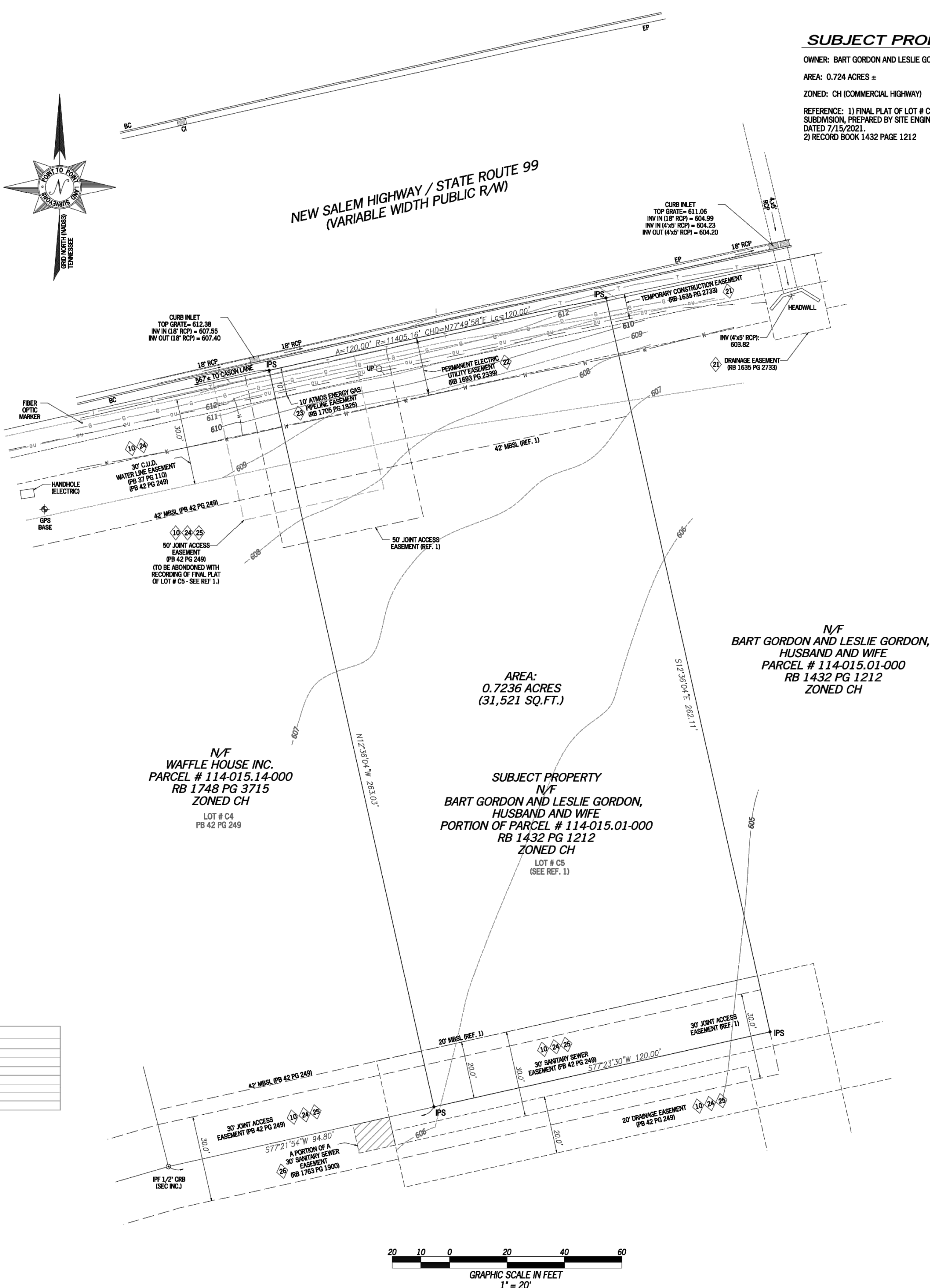
CODE	NAME
B01	ATT/D
INTRU	CONSOLIDATED UTIL DIST
LVT3	CENURILINK (LEVEL 3)
MRU	MURFREESBORO WATER & SEWER
MTMMU	MIDDLE TENN ELECTRIC MEMBERSHIP COOP
U01	ATMOS ENERGY (UNITED CITIES GAS)
U01T	ATMOS ENERGY (TRANSMISSION)

SURVEYOR'S NOTES

ALL PRIVATE UTILITY INFORMATION WAS PROVIDED BY 811 (USIC) AND ARE APPROXIMATE BASED ON FIELD LOCATED PAINT MARKS.



LEGEND	
POR POINT OF BEGINNING	○ SANITARY SEWER MANHOLE
PCC POINT OF COMMENCEMENT	● STORM DRAIN MANHOLE
IPS IRON PIN SET (1/2" REBAR WITH CAP)	○ UTILITY POLE
IRF IRON PIN FOUND	✱ LIGHT POLE
REB REBAR	— GUY WIRE
CMF CONCRETE MONUMENT FOUND	— WATER VALVE
UP UTILITY POLE	— WATER METER
LP LIGHT POLE	△ GAS VALVE
FP FLAG POLE	□ GAS METER
SSMH SANITARY SEWER MANHOLE	☼ FIRE HYDRANT
SDMH STORM DRAIN MANHOLE	☼ SANITARY SEWER CLEANOUT
INV INVERT	☼ GREASE TRAP MANHOLE
FI FIRE HYDRANT	— APPROX. WATER LINE
EP EDGE OF PAVEMENT	— SEWER LINE
TC TOP OF CURB	— OVERHEAD UTILITIES
BC BACK OF CURB	— APPROX. ELECTRIC LINE
TW TOP OF WALL	— APPROX. GAS LINE
BW BOTTOM OF WALL	— APPROX. TELEPHONE LINE
OU OVERHEAD UTILITY	— FENCE LINE
UE UNDERGROUND UTILITY	
CMP CORRUGATED METAL PIPE	
RCP REINFORCED CONCRETE PIPE	
PVC POLYVINYL CHLORIDE PIPE	
GW GUY WIRE ANCHOR	
TR TRANSFORMER	
JB JUNCTION BOX	
SWCB SINGLE WING CATCH BASIN	
DWCB DOUBLE WING CATCH BASIN	
DI DROP INLET	
CI CURB INLET	
CLF CHAIN LINK FENCE	
WV WATER VALVE	
WM WATER METER	
CS SEWER CLEANOUT	
GV GAS VALVE	
NV NOW OR FORMERLY	
RW RIGHT-OF-WAY	



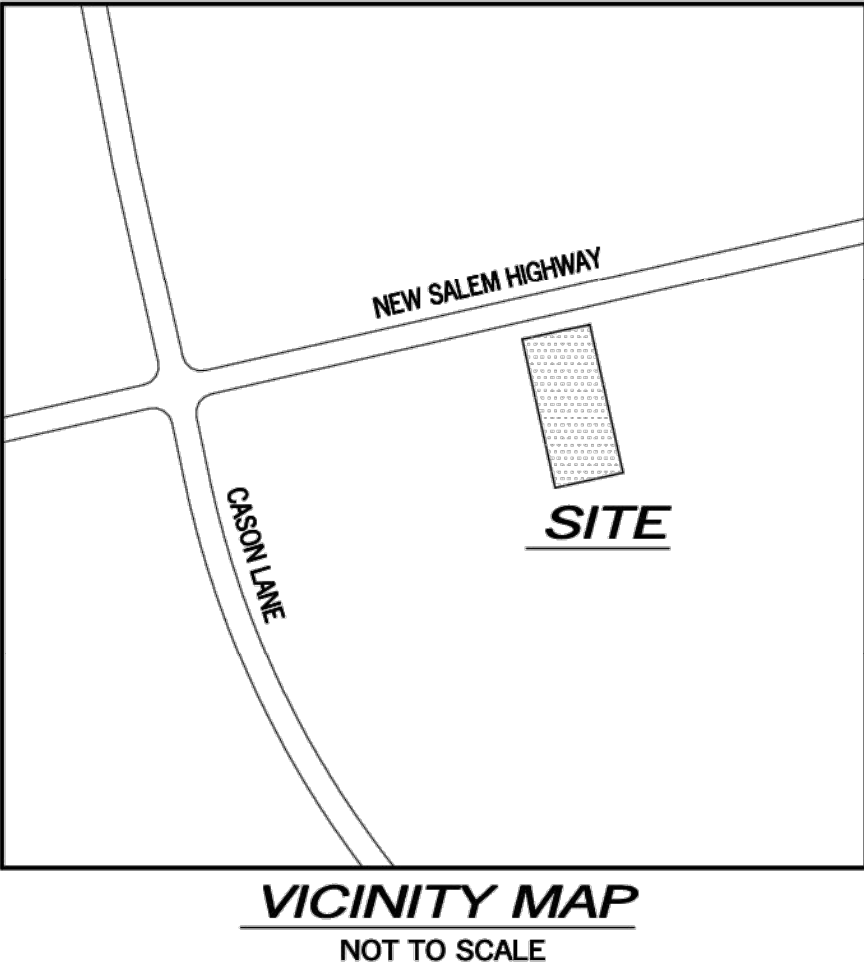
SUBJECT PROPERTY

OWNER: BART GORDON AND LESLIE GORDON, HUSBAND AND WIFE

AREA: 0.724 ACRES ±

ZONED: CH (COMMERCIAL HIGHWAY)

REFERENCE: 1) FINAL PLAT OF LOT # C5, THREEE RIVERS COMMERCIAL SUBDIVISION, PREPARED BY SITE ENGINEERING CONSULTANTS, INC., DATED 7/15/2021.  
2) RECORD BOOK 1432 PAGE 1212



GENERAL NOTES

THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 20,000+ FEET AND AN ANGULAR ERROR OF 5.0" PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 199,078+ FEET.

THE 1' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID18) AND HAVE A VERTICAL ACCURACY OF ±0.5'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC & GEOMAX ZENITH 35. (DATE OF LAST FIELD VISIT: 08/17/2021)

BEARINGS SHOWN ON THIS SURVEY ARE BASED ON GRID NORTH (NAD 83) TENNESSEE.

PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X (AREA OF MINIMAL FLOOD HAZARD). COMMUNITY PANEL NO.: 47149C0255H DATED: 1/5/2007

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

I HEREBY CERTIFY THAT THIS IS A CATEGORY II SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:15,000 AS SHOWN HEREON.

THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

THERE WAS EVIDENCE OF RECENT STREET & SIDEWALK CONSTRUCTION ALONG NEW SALEM HIGHWAY OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK

SURVEYOR'S CERTIFICATE

TO N3 PROPERTY ADVISORS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BART GORDON AND LESLIE GORDON, HUSBAND AND WIFE, & FIRST AMERICAN TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2021, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 11(A), 11(B), 13, 14, 16, 17 & 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF TENNESSEE, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN. NO APPARENT ENCROACHMENTS ON THE PROPERTY.

G. DARRELL TAYLOR  
TENNESSEE REGISTERED LAND SURVEYOR, NO. 3289



LEGAL DESCRIPTION

(AS PROVIDED IN TITLE COMMITMENT NO. 1002-340755-RTT)

A PARCEL OF LAND LYING IN THE 12TH CIVIL DISTRICT OF RUTHERFORD COUNTY, TENNESSEE AND BOUNDED IN GENERAL BY NEW SALEM HIGHWAY / STATE ROUTE 99 ON THE NORTH, THE REMAINING LANDS OF BART AND LESLIE GORDON RECORD BOOK 1432, PAGE 1212 (R.O.R.C., TN) ON THE EAST & SOUTH, AND WAFFLE HOUSE, INC. LOT- C4 PLAT BOOK 42, PAGE 249 (R.O.R.C., TN) ON THE WEST BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIN (SEC) BEING THE NORTHEAST CORNER OF LOT C4 WHICH, IS ON THE SOUTHERN RIGHT OF WAY OF NEW SALEM HIGHWAY / STATE ROUTE 99; THENCE, WITH SAID RIGHT OF WAY CURVING TO THE RIGHT, HAVING AN ARC LENGTH OF 120.00', A RADIUS OF 11405.16', A CHORD BEARING OF N 77°49'58" E, AND A CHORD LENGTH OF 120.00' TO A POINT BEING THE NORTHWEST CORNER OF THE REMAINING LANDS OF BART AND LESLIE GORDON; THENCE, WITH THE REMAINING LANDS OF BART AND LESLIE GORDON FOR THE FOLLOWING CALLS: S 12°36'04" E FOR A DISTANCE OF 262.11' TO A POINT; THENCE, S 77°23'30" W FOR A DISTANCE OF 120.00' TO AN IRON PIN (SEC) BEING THE SOUTHEAST CORNER OF LOT-C4; THENCE, WITH THE EAST LINE OF LOT-C4 N 12°36'04" W FOR A DISTANCE OF 263.03' TO THE POINT OF BEGINNING.

BEING PART OF THE SAME PROPERTY CONVEYED TO BART GORDON AND LESLIE GORDON, HUSBAND AND WIFE, BY DEED FROM STAR LAND COMPANY, LLC, A TENNESSEE LIMITED LIABILITY COMPANY, OF RECORD IN RECORD BOOK 1432, PAGE 1212, IN THE REGISTER'S OFFICE OF RUTHERFORD COUNTY, TENNESSEE.

GPS NOTES

THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:

POSITIONAL ACCURACY: 0.01 FEET (HORZ) 0.25 FEET (VERT)  
TYPE OF EQUIPMENT: GEOMAX ZENITH35 PRO BASE AND ROVER, DUAL FREQUENCY  
TYPE OF GPS FIELD PROCEDURE: ONLINE POSITION USER INTERFACE  
DATE OF SURVEY: 08/17/2021  
DATUM / EPOCH: NAD\_83(2011).EPOCH=2010.00000  
PUBLISHED / FIXED CONTROL USE: N/A  
GEOID MODEL: 18  
COMBINED GRID FACTOR(S): 0.99992366 CENTERED ON THE GPS BASE POINT AS SHOWN HEREON.  
CONVERGENCE ANGLE: -00°15'34.2396"  
BENCHMARKS USED: DJ9605, DK7594, DL6175

RELEASE DESCRIPTION  
EASEMENT IN EXCEPTION 26- REV. LABEL

DATE:  
10/29/21

AN ALTA/NSPS LAND TITLE SURVEY PREPARED FOR:  
**N3 PROPERTY ADVISORS, LLC, A  
DELAWARE LIMITED LIABILITY COMPANY,  
BART GORDON AND LESLIE GORDON,  
HUSBAND AND WIFE, & FIRST AMERICAN  
TITLE INSURANCE COMPANY**

POINT TO POINT  
LAND SURVEYORS

100 Governors Trace, Ste. 103 Peachtree City, GA 30269  
(p) 678.565.4440 (f) 678.565.4497 (w) pointtopointsurvey.com

CIVIL DISTRICT: 12TH  
CITY: MURFREESBORO  
COUNTY: RUTHERFORD  
STATE: TENNESSEE  
DATE: AUGUST 24, 2021  
DRAWN BY: NRW  
CHKD BY: JKL  
APPRVD BY: D. MILLER  
JOB #: 2111597TN

SHEET NUMBER:  
**1**  
OF 1 SHEETS



# CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT TO ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE \_\_\_\_\_ BART GORDON  
RECORD BOOK 1432, PAGE 1212 (OWNER)

DATE \_\_\_\_\_ LESLIE GORDON  
RECORD BOOK 1432, PAGE 1212 (OWNER)

## CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1/10,000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

SEC, INC.  
DATE \_\_\_\_\_ REGISTERED SURVEYOR  
TENN. R.L.S. No. \_\_\_\_\_

## CERTIFICATE OF APPROVAL OF WATER SYSTEMS

CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY WATER SERVICE JURISDICTION  
I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE \_\_\_\_\_ CONSOLIDATED UTILITY DISTRICT OFFICIAL

## CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE \_\_\_\_\_ MURFREESBORO WATER RESOURCES OFFICIAL

## CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE \_\_\_\_\_ PLANNING COMMISSION SECRETARY

## CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE

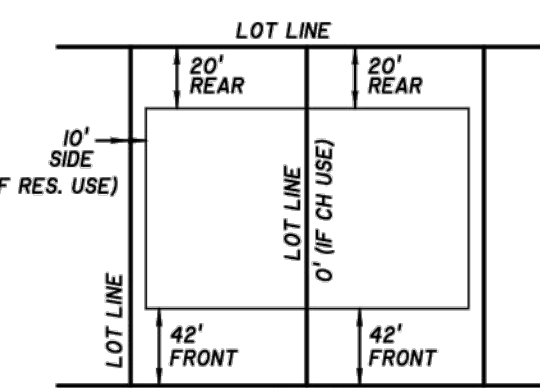
I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE \_\_\_\_\_ CITY ENGINEER

## CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEMC AS DEFINED IN THE RULES AND REGULATIONS, BYLAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEB SITE AT WWW.MTEMC.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEMC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.

DATE \_\_\_\_\_ MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORP. OFFICIAL



TYPICAL MINIMUM BUILDING SETBACKS FOR CH ZONING  
N.T.S.

\* IN CH ZONING, THE MINIMUM SIDE YARD OF 10 FT. SHALL APPLY IF THE PROPERTY ADJUTS OR IS ADJACENT TO PROPERTY ZONED OR USED FOR RESIDENTIAL PURPOSES OR RESIDENTIAL PORTION OF AN APPROVED PLANNED DEVELOPMENT. OTHERWISE, NO SIDE YARD IS REQUIRED.

## LEGEND

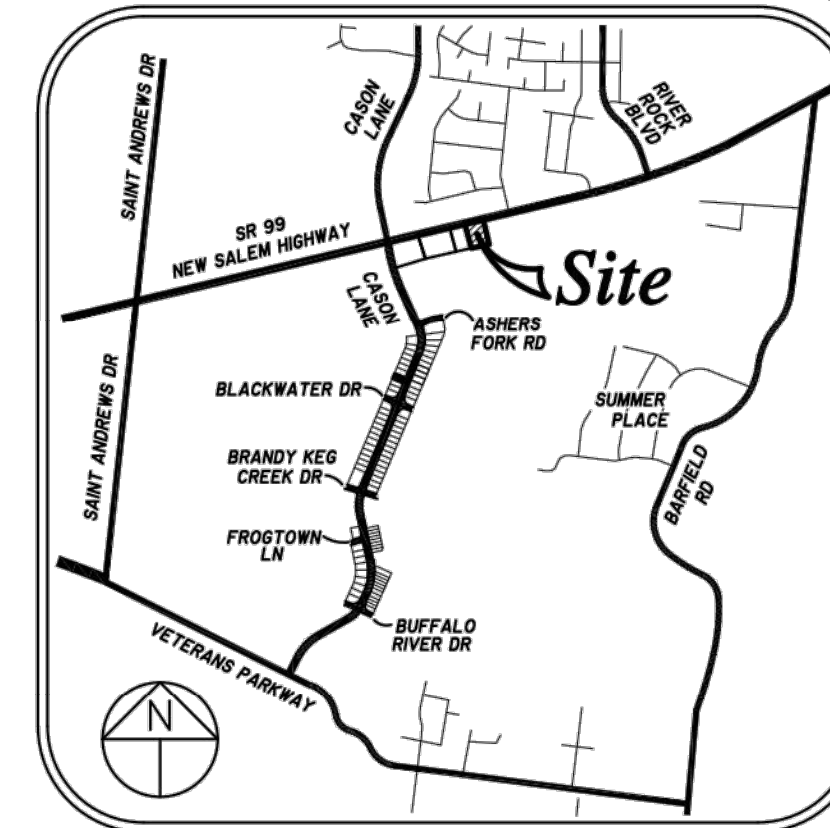
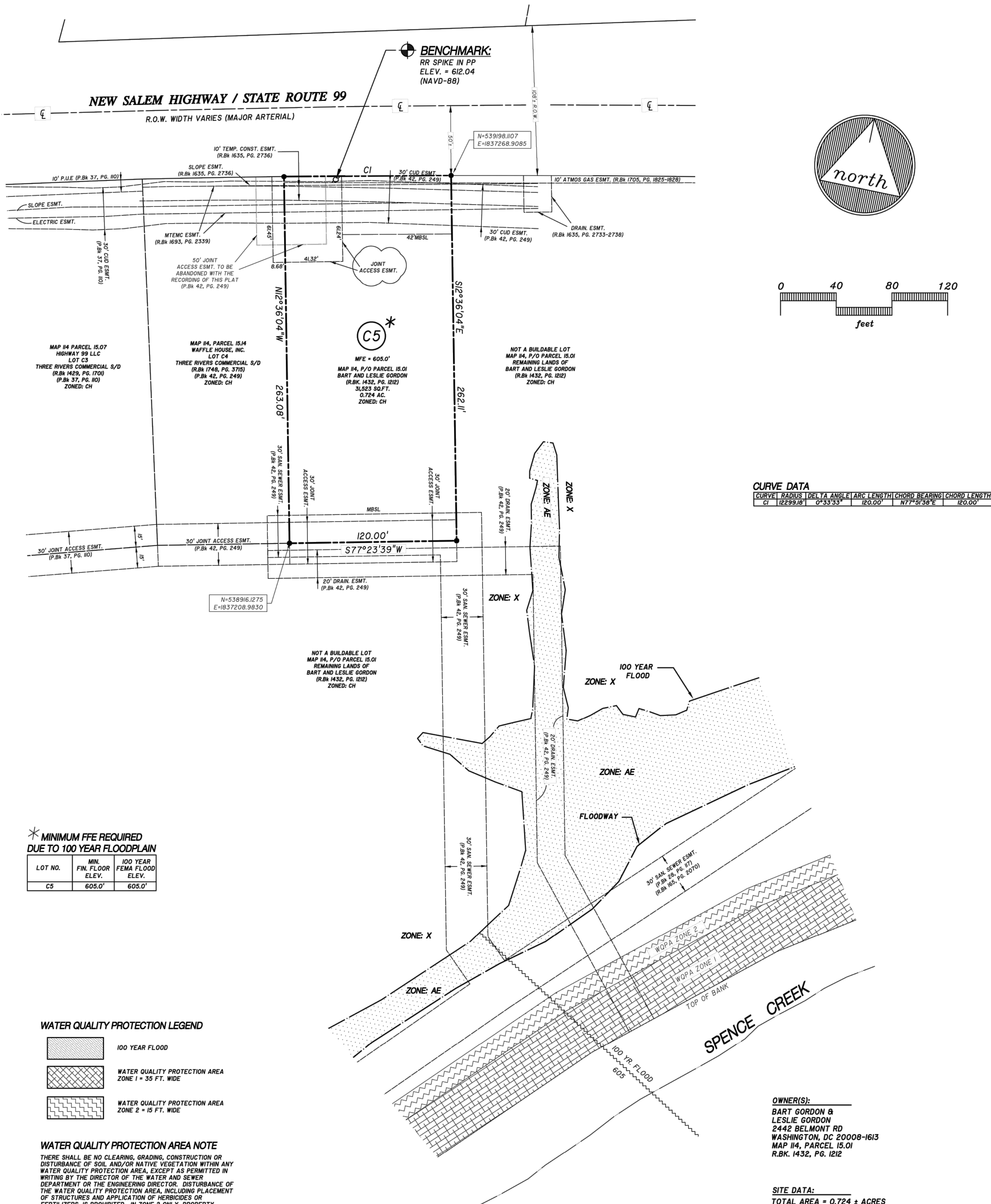
- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- ⬢ BENCHMARK
- ⬢ POWER POLE

## WATER QUALITY PROTECTION LEGEND

	100 YEAR FLOOD
	WATER QUALITY PROTECTION AREA ZONE 1 = 35 FT. WIDE
	WATER QUALITY PROTECTION AREA ZONE 2 = 15 FT. WIDE

## WATER QUALITY PROTECTION AREA NOTE

THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN ANY WATER QUALITY PROTECTION AREA, EXCEPT AS PERMITTED IN WRITING BY THE DIRECTOR OF THE WATER AND SEWER DEPARTMENT OR THE ENGINEERING DIRECTOR. DISTURBANCE OF THE WATER QUALITY PROTECTION AREA, INCLUDING PLACEMENT OF STRUCTURES AND APPLICATION OF HERBICIDES OR FERTILIZERS, IS PROHIBITED. IN ZONE 2 ONLY, PROPERTY OWNERS ARE ALLOWED TO HAVE MANAGED VEGETATION, WHICH IS LIMITED TO CUTTING, MOWING, NO-TILL PLANTING AND AERATION. REFERENCE, CITY CODE, CHAPTER 27-1/2.



LOCATION MAP  
N.T.S.

## GENERAL NOTES

- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE ONE LOT OF RECORD AND TO DEDICATE EASEMENTS AS SHOWN.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES, TIED TO TENNESSEE DEPT. OF TRANSPORTATION GNSS REFERENCE NETWORK (NAD 83, NAVD 1988).
- PROPERTY SHOWN IS ZONED CH. MINIMUM BUILDING SETBACKS FOR THIS ZONING ARE AS FOLLOWS: FRONT = 42 FT. (ADJACENT TO ARTERIAL) / SIDE = 0 FT. (ADJACENT TO COMMERCIAL) (THE MINIMUM SIDE YARD SHALL APPLY ONLY IF THE PROPERTY ADJUTS OR IS ADJACENT TO PROPERTY ZONED OR USED FOR RESIDENTIAL PURPOSES OR THE RESIDENTIAL PORTION OF AN APPROVED PLANNED DEVELOPMENT. OTHERWISE, NO SIDE YARD IS REQUIRED). REAR = 20 FT.
- ANY MINIMUM FLOOR ELEVATION (MIN. FFE) SHOWN INCLUDES THE MAIN BUILDING, GARAGES, AND ACCESSORY STRUCTURES.
- SUBJECT PROPERTY IS IDENTIFIED AS A PORTION OF PARCEL 15.01 ON RUTHERFORD COUNTY PROPERTY MAP 14.
- THIS PROPERTY LIES WITHIN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATIONS SHOWN ON FEMA FIRM MAPS FOR RUTHERFORD COUNTY, TENNESSEE. MAP NUMBER 4749C0255 H, AND MAP NUMBER 4749C0265 H EFFECTIVE DATE JANUARY 5, 2007.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
- THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- THERE IS CURRENTLY STREET WIDENING AND IMPROVEMENTS BEING MADE TO NEW SALEM HIGHWAY.
- EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
- PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MURFREESBORO ELECTRIC DEPARTMENT, NATURAL GAS COMPANIES, AT&T, CABLE TELEVISION SERVICES AND OTHERS.
- UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE OWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE BUILDER AND/OR OWNER SHALL BE RESPONSIBLE FOR THE COMPLIANCE WITH THIS REQUIREMENT.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY LOT IN THIS SUBDIVISION, THE OWNER SHALL POST A BUILDING PERMIT SURETY IN AN AMOUNT TO BE DETERMINED BY THE CITY ENGINEER TO ASSURE CONSTRUCTION OF LOT INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRAINAGE IMPROVEMENTS, OR CONSTRUCTION OF WATER QUALITY ELEMENTS. SUCH CONSTRUCTION SHALL BE COMPLETED WITHIN NINE (9) MONTHS OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- THIS PROPERTY IS WITHIN THE SALEM/BARFIELD SANITARY SEWER ASSESSMENT DISTRICT.

DATE OF RECORDING: \_\_\_\_\_  
TIME OF RECORDING: \_\_\_\_\_  
PLAT BOOK \_\_\_\_\_, PAGE \_\_\_\_\_

## FINAL PLAT

LOT # C5  
**THREE RIVERS COMMERCIAL**  
SUBDIVISION

CITY OF MURFREESBORO, TENNESSEE  
12th CIVIL DISTRICT OF RUTHERFORD COUNTY

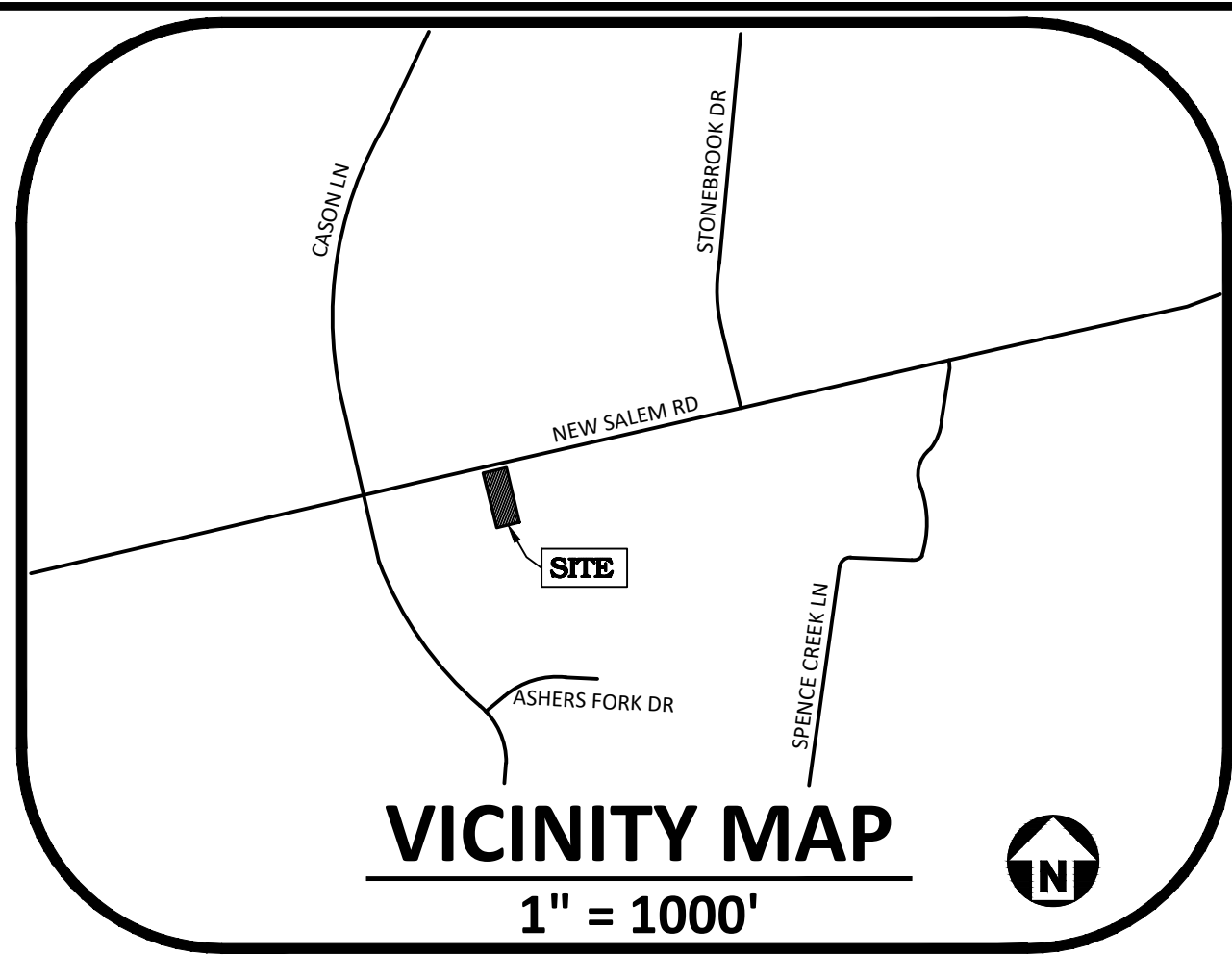
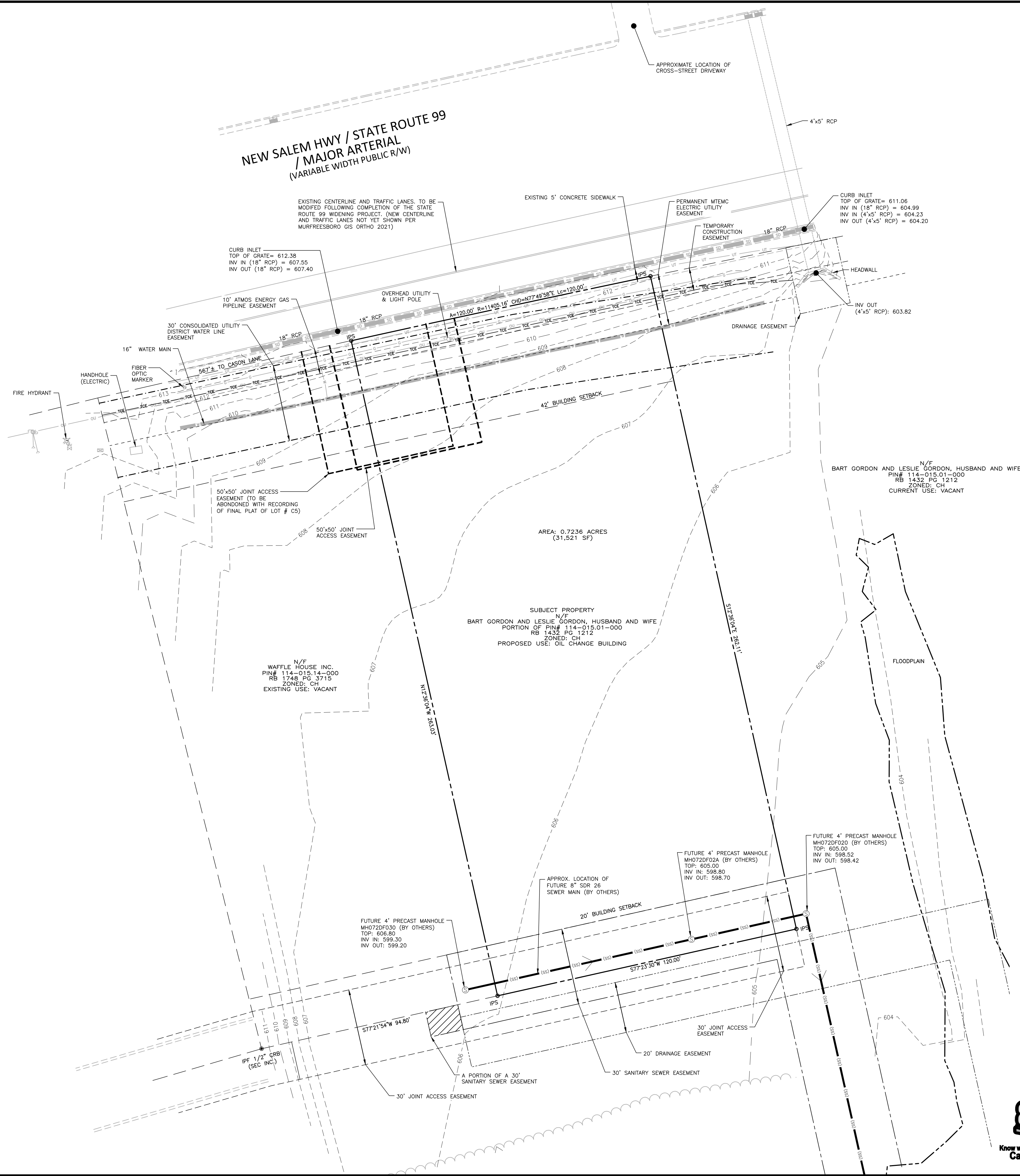
**SEC, Inc.** SITE ENGINEERING CONSULTANTS  
ENGINEERING SURVEYING LAND PLANNING  
LANDSCAPE ARCHITECTURE  
WWW.SEC-CIVIL.COM  
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129  
PHONE (615) 890-7901 • FAX (615) 895-2567




















PROJ. # 07107 DATE: 7-15-2021 FILE: 3RiversLotC5FinalPlat DRAWN BY: JDG SCALE: 1" = 40' SHEET 1 OF 1  
REV: 8-4-2021

\*REVISIONS PER CITY COMMENTS 8-4-2021\*



\\dur-33\drive\projects\NTR\2021110738\04-Production Drawings\Current Drawings\Engineering\Construction Drawings\2021110738-XC1.dwg, 12/15/2021 10:17:10 AM, Ryan Brady



LEGEND			
	EXISTING IRON PIPE		STORM DRAIN PIPE
	IRON PIPE SET		OVERHEAD UTILITY LINES
	WATER VALVE		WATER LINE
	WATER METER		GAS LINE
	FIRE HYDRANT		UNDERGROUND TELEPHONE
	GUY WIRE		SANITARY SEWER LINE
	POWER POLE		TREE LINE
	CURB INLET		MAJOR CONTOUR LINE
	FIBER OPTIC MARKER		MINOR CONTOUR LINE
	SANITARY SEWER MANHOLE		

#### EXISTING CONDITIONS NOTES:

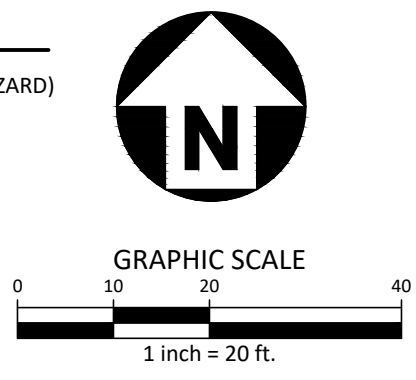
THIS PLAT IS BASED ON THE SURVEY FOR "N3 PROPERTY ADVISORS, LLC, BART GORDON AND LESLIE GORDON, HUSBAND AND WIFE, & FIRST AMERICAN TITLE INSURANCE COMPANY," DATED 08.24.2021 AND PERFORMED BY G. DARRELL TAYLOR - TENNESSEE REGISTERED LAND SURVEYOR (LICENSE NO: 3289).

#### FEMA FLOODPLAIN NOTE:

FLOOD MAP PANEL: # 47149C025SH (DATED JANUARY 5, 2007) - ZONE X (AREA OF MINIMAL FLOOD HAZARD)



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF MURFREESBORO ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



**McADAMS**

The John R. McAdams Company, Inc.  
2905 Meridian Parkway  
Durham, NC 27713

phone 919. 361. 5000  
fax 919. 361. 2269  
TN license number: 8829

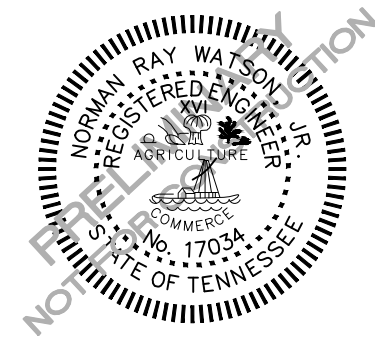
www.mcadamsco.com

#### CLIENT

N3 REAL ESTATE  
1240 N KIMBALL AVE  
SOUTHLAKE, TX, 76092  
PHONE: 817.348.8748



## STRICKLAND BROTHERS OIL CHANGE - MURFREESBORO SITE PLAN SUBMITTAL 2375 NEW SALEM HWY MURFREESBORO, TN 37128



#### REVISIONS

NO.	DATE	REVISION DESCRIPTION
1	10. 27. 2021	RESPONSE TO 1ST CITY COMMENTS
2	12. XX. 2021	RESPONSE TO 2ND CITY COMMENTS
3	-	-
4	-	-
5	-	-
6	-	-

#### PLAN INFORMATION

PROJECT NO.	2021110738
FILENAME	2021110738-XC1
CHECKED BY	NRW
DRAWN BY	RMB
SCALE	1" = 20'
DATE	10. 14. 2021

#### SHEET

#### EXISTING CONDITIONS

# C1.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



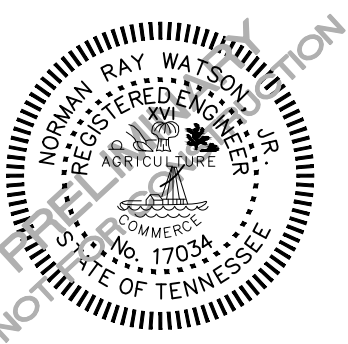


phone 919. 361. 5000  
fax 919. 361. 2269  
N license number: 8829

## CLIENT



**STRICKLAND BROTHERS OIL  
CHANGE - MURFREESBORO**  
SITE PLAN SUBMITTAL  
2375 NEW SALEM HWY  
MURFREESBORO, TN 37128



NO.	DATE	REVISION DESCRIPTION
1	10. 27. 2021	RESPONSE TO 1ST CITY COMMENTS
2	12. XX. 2021	RESPONSE TO 2ND CITY COMMENTS
3	-	-
4	-	-
5	-	-
6	-	-

PROJECT NO.	2021110738
FILENAME	2021110738-DM1
CHECKED BY	NRW
DRAWN BY	RMB
SCALE	1" = 20'
DATE	10. 14. 2021

# C1.01



- =====
- STRUCTURE TO BE REMOVED  
(SIDEWALK, CURB AND GUTTER, ETC.)
- 
- AREA TO BE REMOVED  
(ASPHALT, CONCRETE PAVING, ETC.)

TRAFFIC CONTROL NOTES:

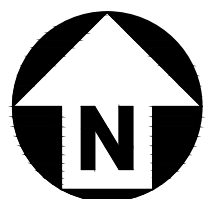
1. CONTRACTOR TO COORDINATE WITH THE TRAFFIC ENGINEER IN THE CITY TRANSPORTATION DEPARTMENT PRIOR TO COMMENCEMENT OF WORK IN THE RIGHT OF WAY TO AVOID DAMAGE TO TRAFFIC SIGNAL DEVICES.
2. THE CONTRACTOR SHALL CONDUCT ALL WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
4. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
5. THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMITS, APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL REPAIR ALL DAMAGED DRIVEWAYS, DRIVEWAY PIPS, CURB AND GUTTER, SIDEWALKS AND STREETS TO EXISTING CONDITION OR BETTER.
7. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE TECHNICAL RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
8. A TDOT PERMIT MAY BE REQUIRED. EVIDENCE OF TDOT APPROVAL IS REQUIRED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.

FEMA FLOODPLAIN NOTE:

FLOOD MAP PANEL: # 47149C0255H (DATED JANUARY 5, 2007) - ZONE X (AREA OF MINIMAL FLOOD HAZARD)



ALL CONSTRUCTION SHALL BE IN ACCORDANCE  
WITH THE CURRENT CITY OF MURFREESBORO  
ENGINEERING DESIGN AND CONSTRUCTION  
STANDARDS



**GRAPHIC SCALE**

0 10 20 40

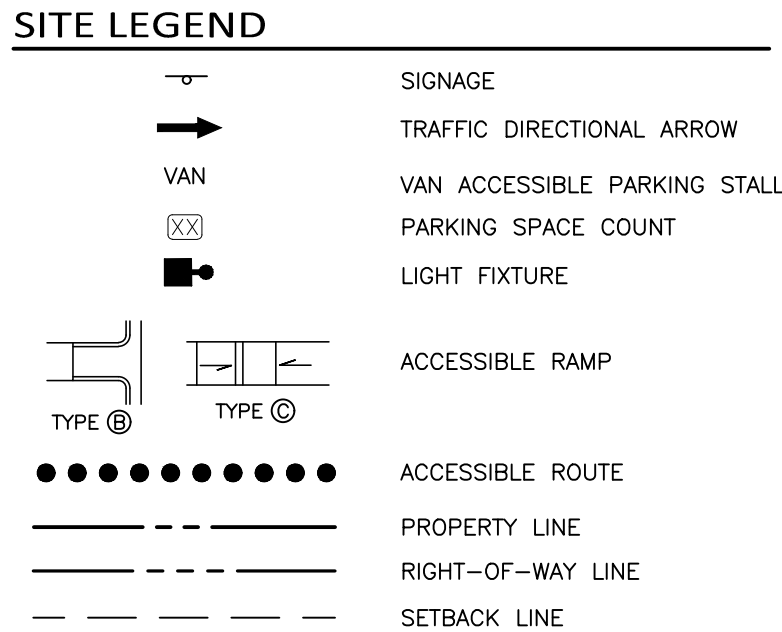
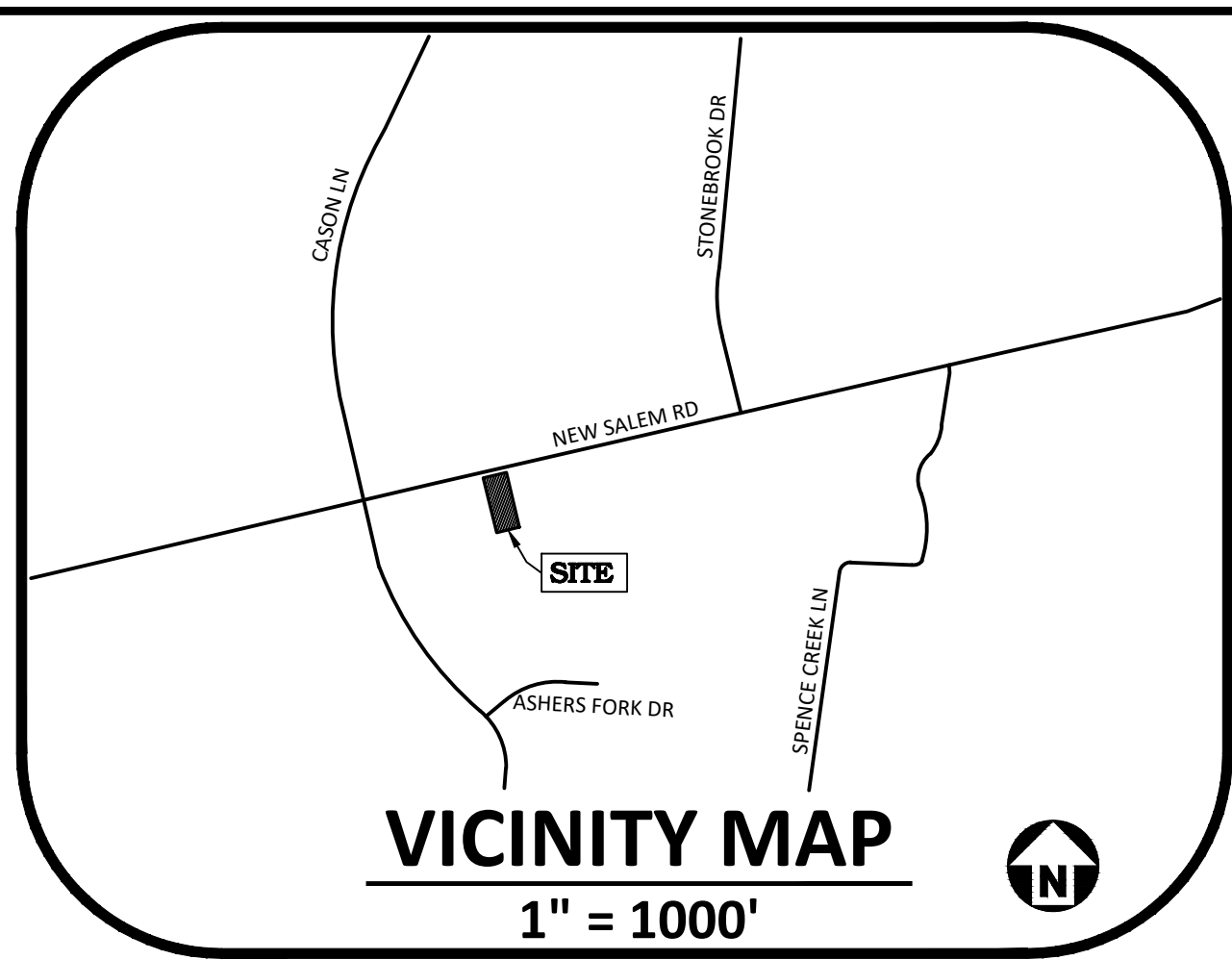
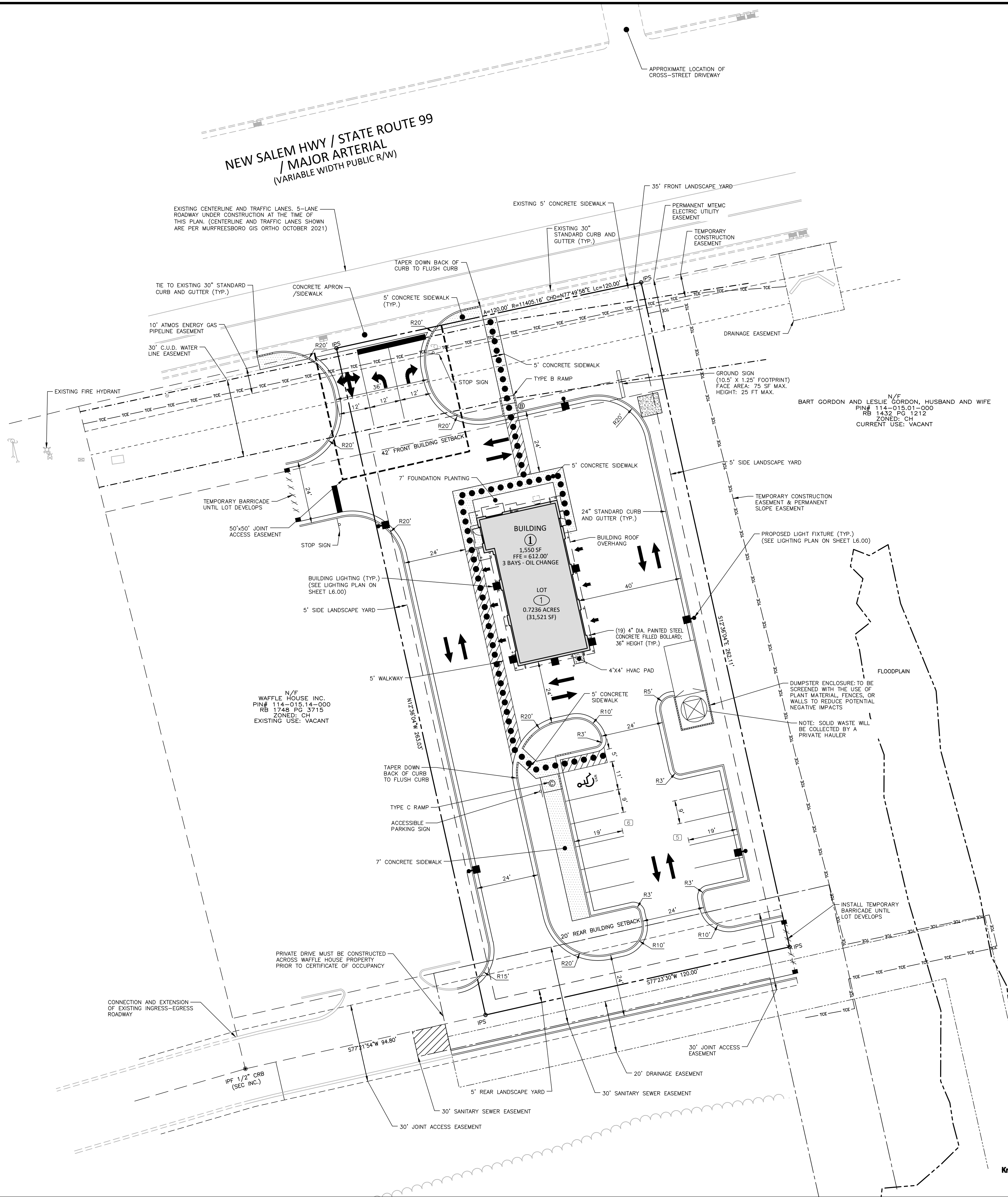
1 inch = 20 ft.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

\\DUR-X3\\MDrive\\Projects\\NTR\\2021110738\\04-Production\\Engineering\\Current Drawings\\2021110738-DM1.dwg, 12/15/2021 10:17:18 AM, Ryan Brady



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**GENERAL NOTES:**

ZONING - CH (COMMERCIAL HIGHWAY)

MAXIMUM BUILDING HEIGHT: 75'

BUILDING SETBACKS:

FRONT: 42'

REAR: 20'

SIDE: 0' (DOES NOT ABUT RESIDENTIAL ZONING)

LANDSCAPE YARD:

5' ALL SIDES

OPEN SPACE:

20% (6,304 / 31,521 SF) REQUIRED

26.6% (8,389 / 31,521 SF) PROVIDED

**PARKING CALCULATIONS:**

PARKING REGULATIONS FOR CITY OF MURFREESBORO:

PER ZONING APPENDIX A, CHART 4:

AUTOMOBILE SERVICE STATION:

1 FOR EACH 500 SQUARE FEET OF FLOOR AREA

2 FOR EACH INDOOR SERVICE STALL

REQUIRED: 1,700 SF = 4 SPACES

REQUIRED: 3 SERVICE STALLS = 6 SPACES

10 TOTAL SPACES REQUIRED

PROPOSED: 10 STANDARD SPACES + 1 ADA PARKING SPACE

= 11 TOTAL SPACES

- SITE PLAN NOTES:**
- OWNER(S) MUST SUBMIT A NOTARY SIGNED CUDRC SIGN AGREEMENT TO CUDRC IF A SIGN IS WITHIN A CUDRC EASEMENT. ANY PROPOSED SIGN CANNOT BE WITHIN TEN FEET OF A CUDRC WATER LINE, METER, VALVE, FIRE HYDRANT, OR OTHER RELATED APPURTENANCE.
  - ALL CONSTRUCTION SHALL CONFORM TO THE LATEST LOCAL AND STATE MUNICIPALITY AND/OR TDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
  - ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
  - EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
  - THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
  - CONTRACTOR SHALL NOTIFY "TN811" (811) OR (800)-351-1111 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "TN811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
  - CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
  - PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE LOCAL AND STATE MUNICIPALITY PUBLIC WORKS DEPARTMENT AND A REPRESENTATIVE OF THE ENGINEER AND OWNER. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
  - ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
  - TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS PLAN SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
  - EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
  - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF LOCAL AND STATE MUNICIPALITY SPECIFICATIONS AND STANDARDS

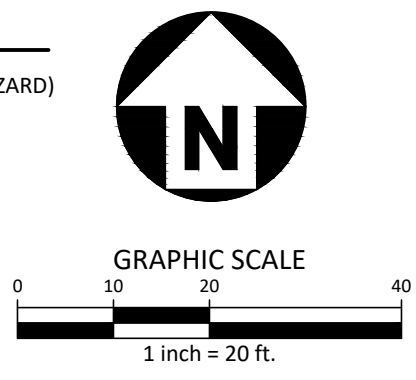
MURFREESBORO PLANNING DEPARTMENT DOES NOT APPROVE SIGNAGE. CONTACT TERESA STEVENS WITH BUILDING & CODES FOR SIGNAGE REGULATIONS. 615-893-3750

**FEMA FLOODPLAIN NOTE:**

FLOOD MAP PANEL: # 47149C0255H (DATED JANUARY 5, 2007) - ZONE X (AREA OF MINIMAL FLOOD HAZARD)



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF MURFREESBORO ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**McADAMS**

The John R. McAdams Company, Inc.  
2905 Meridian Parkway  
Durham, NC 27713

phone 919. 361. 5000  
fax 919. 361. 2269  
TN license number: 8829

www.mcadamsco.com

**CLIENT**

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SOUTH LAKE, TX, 76092  
PHONE: 817.348.8748



**STRICKLAND BROTHERS OIL  
CHANGE - MURFREESBORO**

**SITE PLAN SUBMITTAL**

**2375 NEW SALEM HWY**

MURFREESBORO, TN 37128

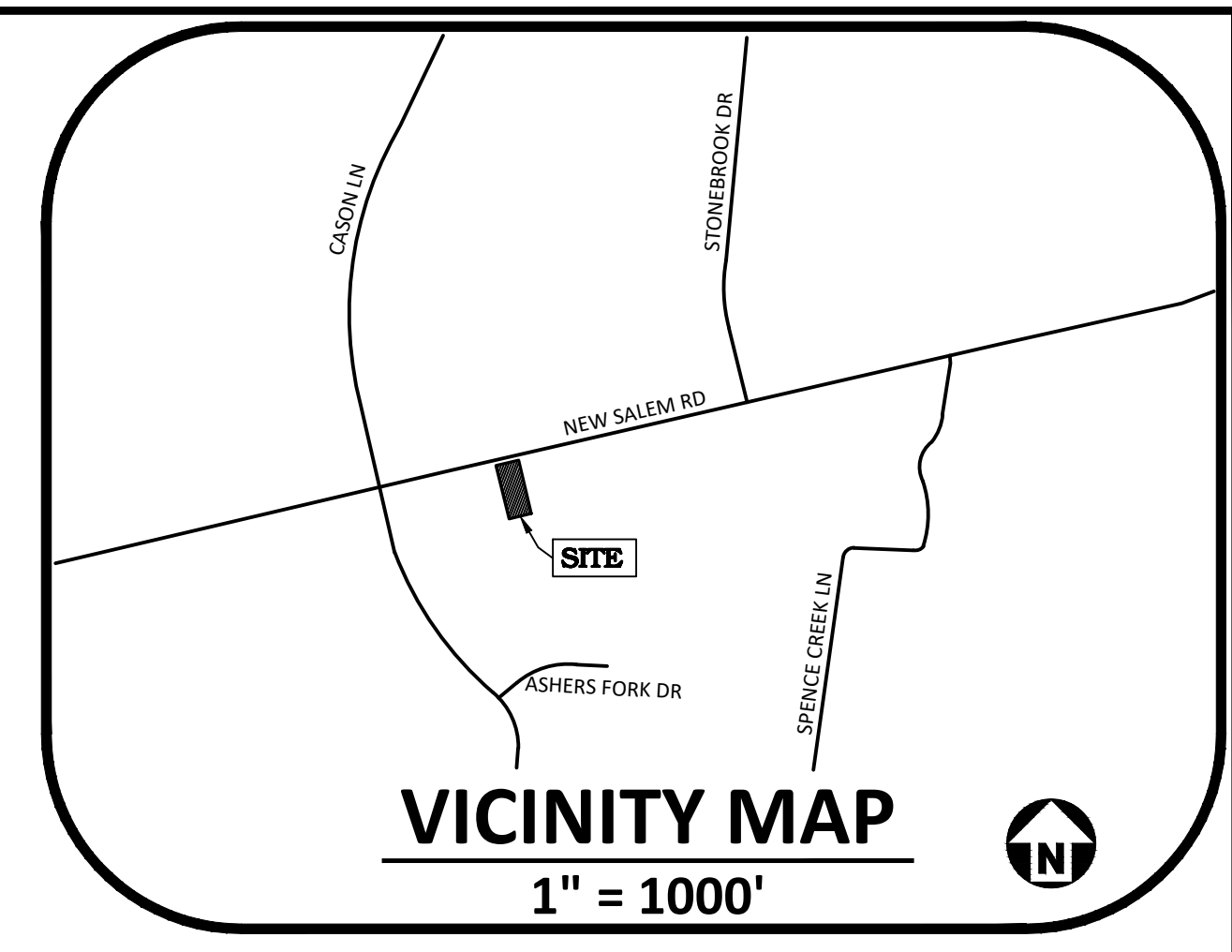
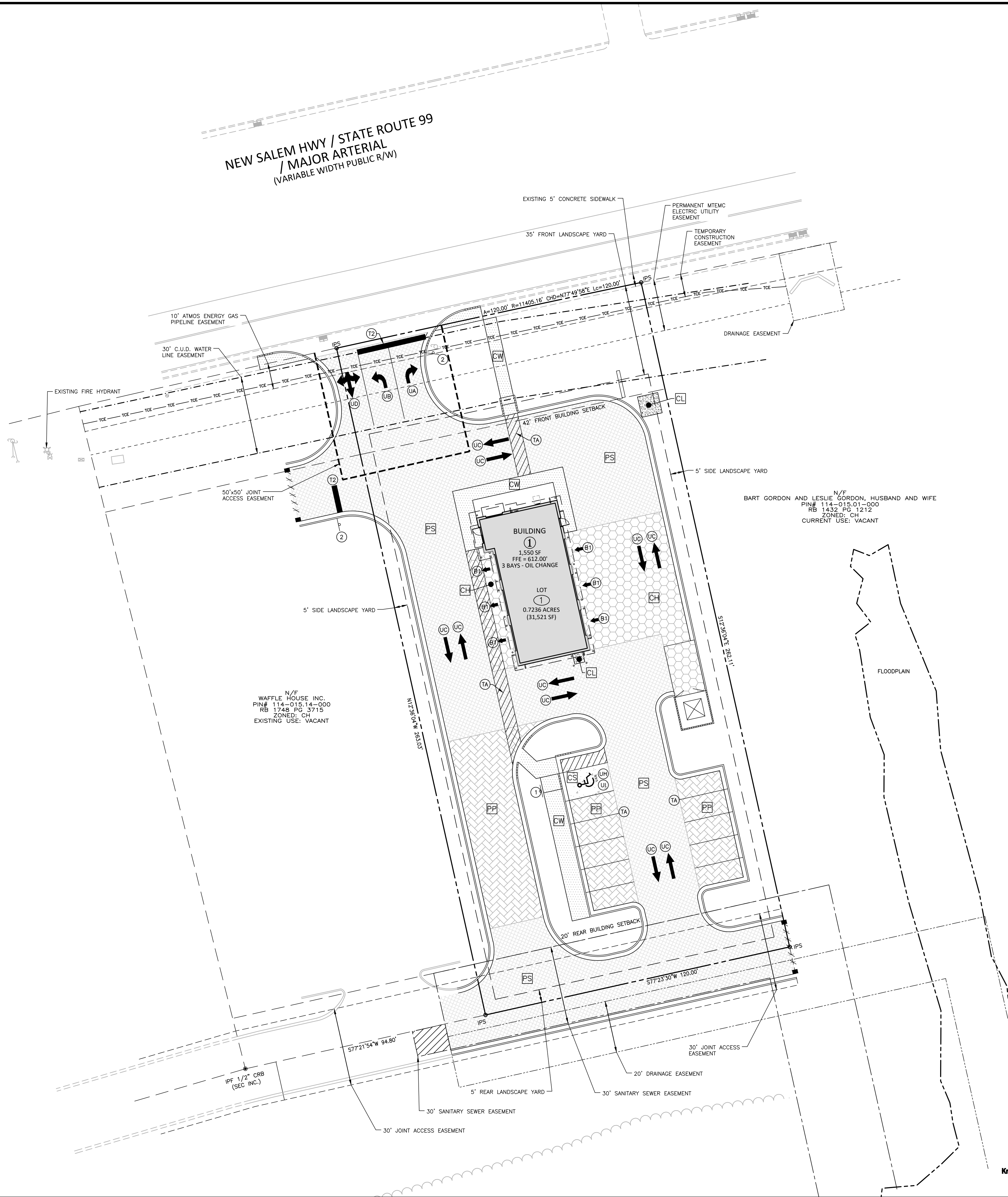


REVISIONS		
NO.	DATE	REVISION DESCRIPTION
1.	10.27.2021	RESPONSE TO 1ST CITY COMMENTS
2.	12. XX. 2021	RESPONSE TO 2ND CITY COMMENTS
-	-	-
-	-	-
-	-	-
-	-	-
PLAN INFORMATION		
PROJECT NO.	2021110738	
FILENAME	2021110738-S1	
CHECKED BY	NRW	
DRAWN BY	RMB	
SCALE	1" = 20'	
DATE	10. 14. 2021	
SHEET		
SITE PLAN		

**C2.00**



\\our-83\\drive\\projects\\NTR\\2021110738\\04-Production\\Drawings\\Current Drawings\\Engineering\\Construction Drawings\\002110738-PK4.dwg, 12/15/2021 10:17:33 AM, Ryan Brady



PAVEMENT LEGEND:

	PS STANDARD ASPHALT PAVEMENT SECTION		CL LIGHT DUTY CONCRETE PAVEMENT (HVAC & TRANSFORMERS)
	PF STANDARD PERMEABLE PAVERS (SEE SHEET C8.00 FOR DETAILS)		CS STANDARD DUTY CONCRETE PAVEMENT
	CW STANDARD CONCRETE SIDEWALK/WALKWAY		CH HEAVY DUTY CONCRETE PAVEMENT

		CL LIGHT DUTY	CS STANDARD DUTY	CH HEAVY DUTY
	CONCRETE (4,000 PSI W/ MEDIUM 8 ROOM FINISH)	4.0" W/ 6X6 W1.4XW1.4 W.W.F.	5.0" W/ 6X6 W1.4XW1.4 W.W.F.	6.0" W/ 6X6 W1.4XW1.4 W.W.F.
	CRUSHED AGGREGATE BASE COURSE (ABC)	5.0"	6.0"	8.0"
	COMPACTED SUBGRADE TO 98% DRY DENSITY, MODIFIED PROCTOR ASTM D1557			

CONCRETE PAVEMENT SECTIONS  
(SEE NOTE 1) N.T.S.

		PS STANDARD DUTY
	ASPHALTIC CONCRETE SURFACE COURSE (SF9.5B)	2.0"
	ASPHALTIC CONCRETE SURFACE COURSE (BM-25.0)	-
	CRUSHED AGGREGATE BASE COURSE (ABC) (AASHTO #21A/21B)	8.0"
	12" MIN. COMPACTED SUBGRADE TO 98% DRY DENSITY, MODIFIED PROCTOR ASTM D1557	

ASPHALT PAVEMENT SECTIONS  
(SEE NOTE 1) N.T.S.

PAVEMENT SECTIONS SUBJECT TO CHANGE BASED ON RESULTS OF GEOTECHNICAL REPORT

SIGN LEGEND:



PAVEMENT MARKING LEGEND:

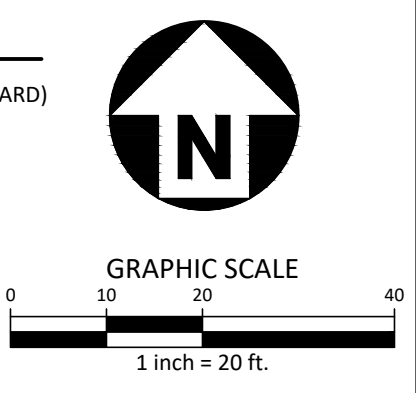
- LANE LINES/MARKINGS
- TA 4" WHITE
  - TZ 24" WHITE STOPBAR
- ARROWS/CHARACTERS
- B1 BAY DOOR ARROW (SEE DETAIL ON SHEET C8.00)
  - UA RIGHT ARROW
  - UB LEFT ARROW
  - UC STRAIGHT ARROW
  - UD COMBINATION ARROW
  - UH HANDICAP PARKING
  - UI ALPHANUMERIC CHARACTER

NOTES:  
1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST LOCAL AND STATE MUNICIPALITY AND/OR TDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE

FEMA FLOODPLAIN NOTE:  
FLOOD MAP PANEL: # 47149C0255H (DATED JANUARY 5, 2007) - ZONE X (AREA OF MINIMAL FLOOD HAZARD)



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF MURFREESBORO ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

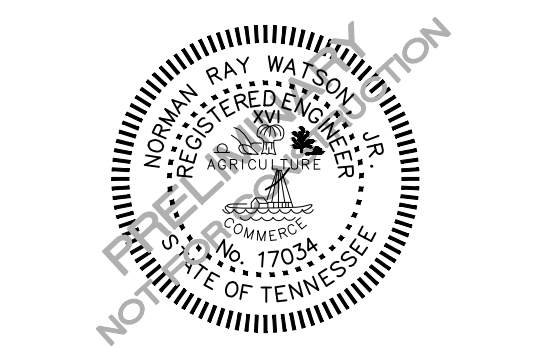


PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**McADAMS**  
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CHANGE - MURFREESBORO**  
SITE PLAN SUBMITTAL  
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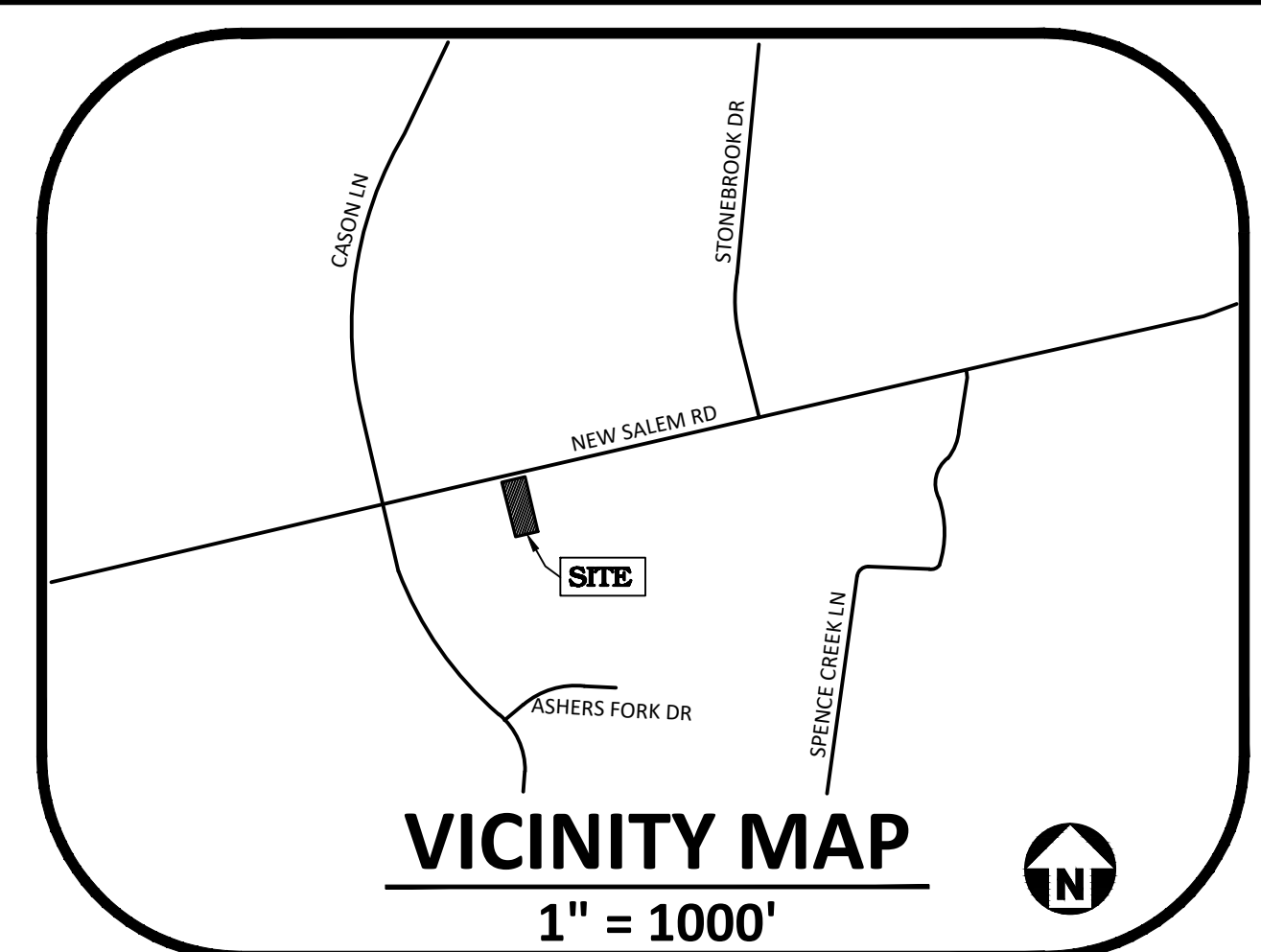
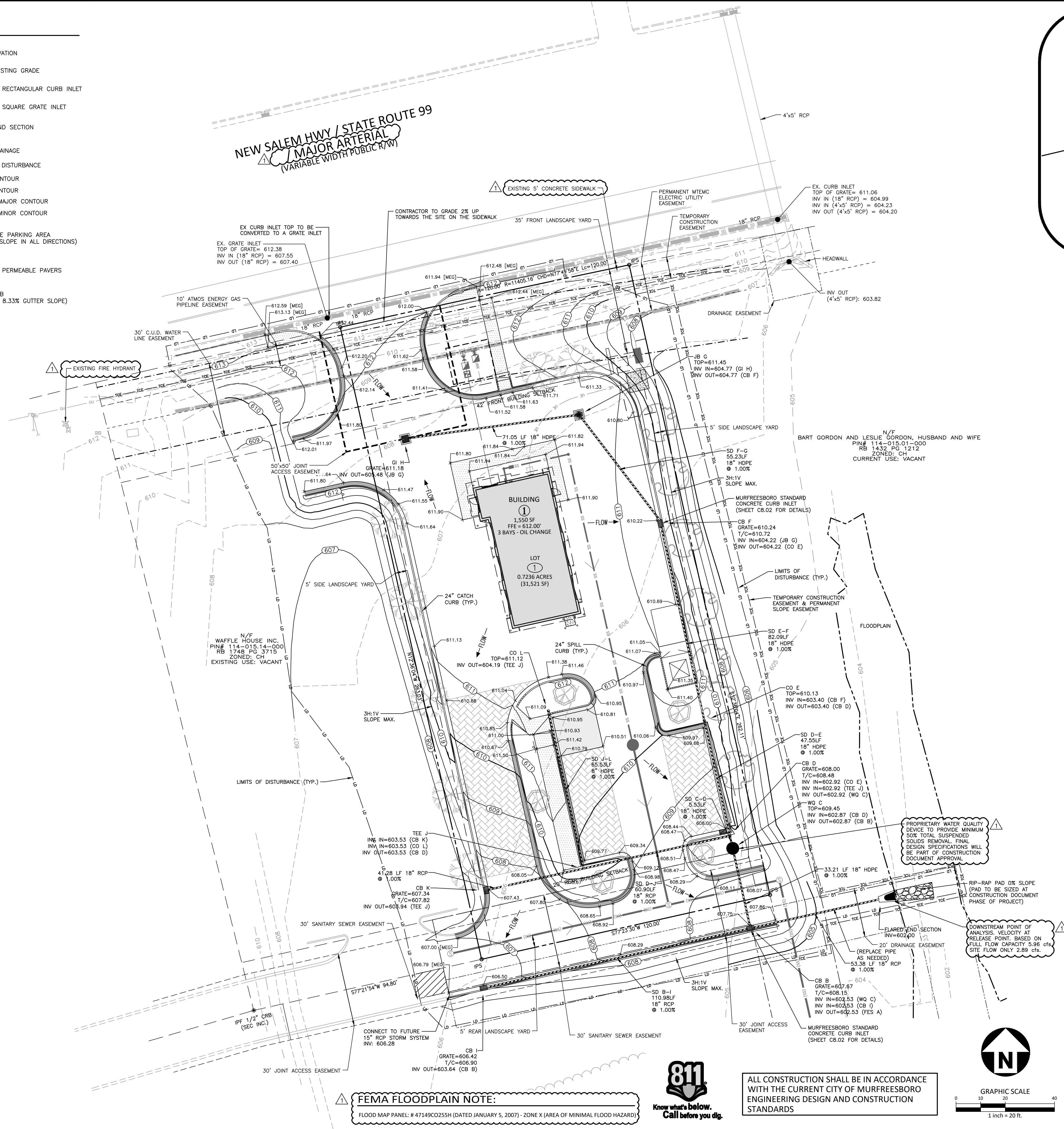


REVISIONS		
0.	DATE	REVISION DESCRIPTION
1	10. 27. 2021	RESPONSE TO 1ST CITY COMMENTS
2	12. XX. 2021	RESPONSE TO 2ND CITY COMMENTS
3	-	-
4	-	-
5	-	-
6	-	-
PLAN INFORMATION		
PROJECT NO.	2021110738	
FILENAME	2021110738-PM1	
CHECKED BY	NRW	
DRAWN BY	RMB	
SCALE	1" = 20'	
DATE	10. 14. 2021	
SHEET		
PAVEMENT MARKING PLAN		
C2.01		



GRADING LEGEND

- + 250.60 SPOT ELEVATION
- [MEG] MATCH EXISTING GRADE
- STANDARD RECTANGULAR CURB INLET
- STANDARD SQUARE GRATE INLET
- FLARED END SECTION
- STORM DRAINAGE
- LD LD LIMITS OF DISTURBANCE
- 610 MAJOR CONTOUR
- 611 MINOR CONTOUR
- 610 EXISTING MAJOR CONTOUR
- 611 EXISTING MINOR CONTOUR
- ACCESSIBLE PARKING AREA  
(2% MAX. SLOPE IN ALL DIRECTIONS)
- STANDARD PERMEABLE PAVERS
- SPILL CURB  
(REVERSED 8.33% GUTTER SLOPE)



GRADING NOTES

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF MURFREESBORO, AND/OR TDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- CONTRACTOR SHALL NOTIFY "TN811" OR (800)-351-1111 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "TN811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH CITY OF MURFREESBORO STORMWATER AND EROSION CONTROL DEPARTMENT, THE ENGINEER AND A REPRESENTATIVE OF THE OWNER.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY.
- 5'X5' PAD AT DOORS WITH MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- SIDEWALK TO BE MAXIMUM 5% SLOPE AND 2% CROSS SLOPE AND 5'X5' PAD 2% IN ALL DIRECTIONS AND CHANGES OF DIRECTION.
- ADA PATHS TO BE MAXIMUM 5% LONGITUDINAL SLOPE AND 2% CROSS SLOPE.

STORM DRAINAGE NOTES:

- ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCP) (MINIMUM CLASS III) OR HIGH-DENSITY POLYETHYLENE (HDPE) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS. CONTRACTOR TO SELECT REQUIRED CLASS OF PIPE BASED ON DEPTH OF PIPE AND BEDDING PROVIDED PER THE AMERICAN CONCRETE PIPE ASSOCIATION GUIDELINES.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF MURFREESBORO STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE JOINT GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 98% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- IF THE USE OF WAFFLE BOXES ARE ALLOWED AT THIS SITE, ALL PENETRATIONS FOR STORM DRAINAGE PIPES MUST BE MADE WITHIN THE KNOCK-OUT PORTION OF THE BOX AND NOT AT THE CORNERS WHERE THE STRUCTURAL INTEGRITY MAY BE COMPROMISED.

STANDARD NOTES:

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, CONSTRUCTION FENCE OR TREE PROTECTION FENCING (IF APPLICABLE) SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING, OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- CONTACT THE TENNESSEE ONE CALL CENTER AT (800)-351-1111 AT LEAST THREE (3) FULL BUSINESS DAYS PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

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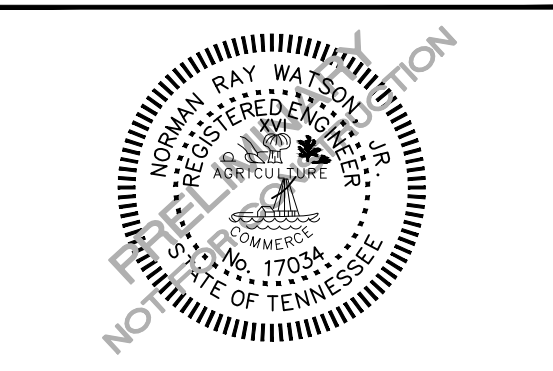
**REAL ESTATE**

**STRICKLAND BROTHERS OIL  
CHANGE - MURFREESBORO**

**SITE PLAN SUBMITTAL**

**2375 NEW SALEM HWY**

MURFREESBORO, TN 37128



REVISIONS

NO.	DATE	REVISION DESCRIPTION
1	10.27.2021	RESPONSE TO 1ST CITY COMMENTS
2	12.XX.2021	RESPONSE TO 2ND CITY COMMENTS
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6	-	-

PLAN INFORMATION

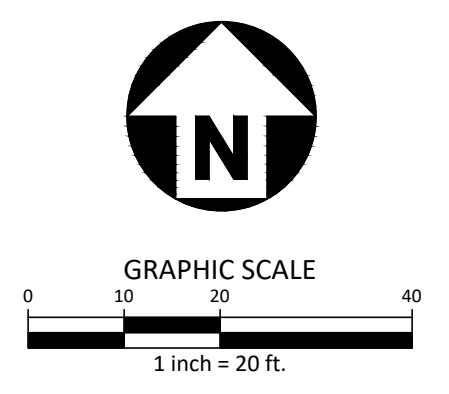
PROJECT NO.	2021110738
FILENAME	2021110738X-C3D+GRADING
CHECKED BY	NRW
DRAWN BY	RMB
SCALE	1" = 20'
DATE	10.14.2021

SHEET

**GRADING AND  
DRAINAGE PLAN**

**C3.00**

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF MURFREESBORO ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



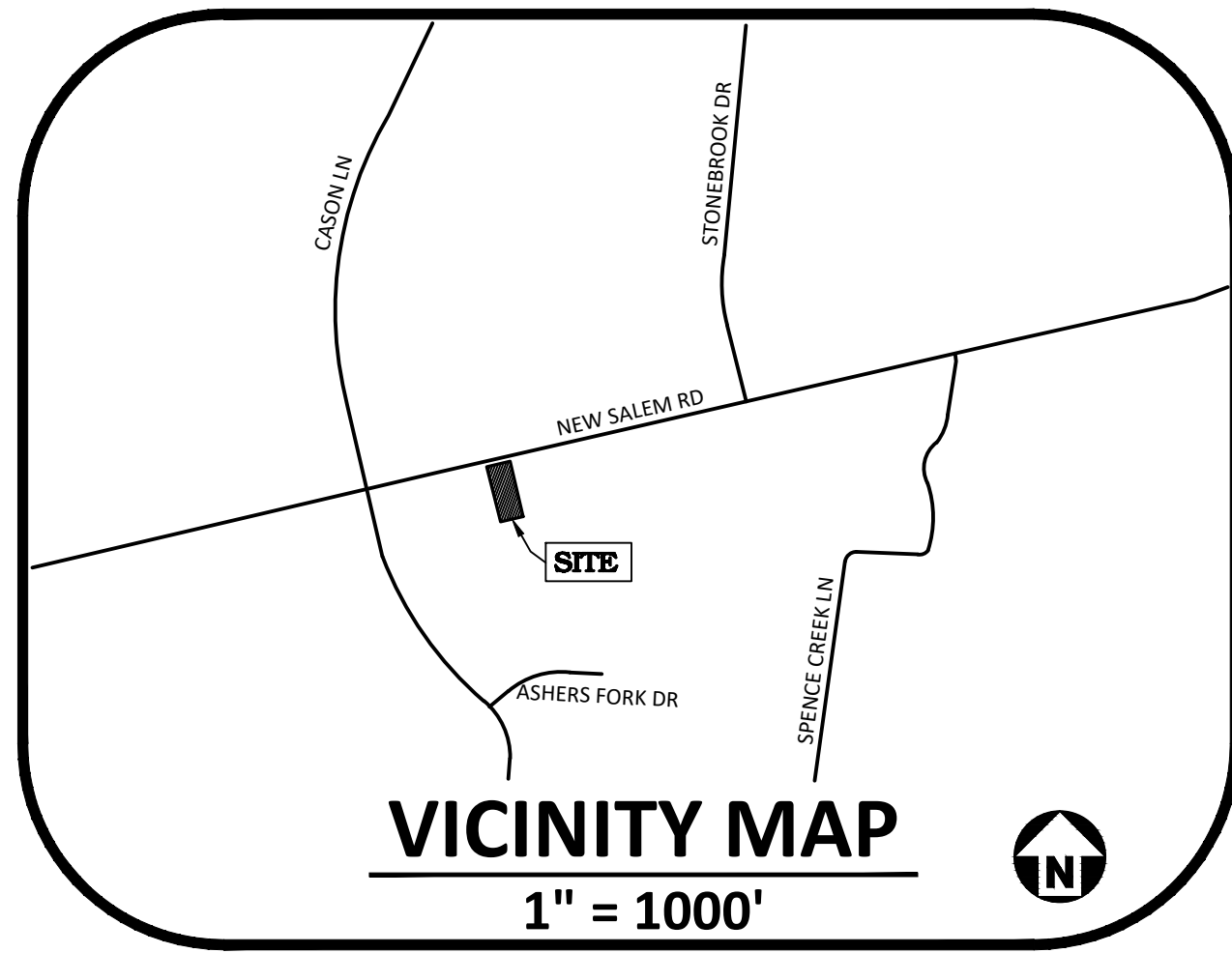
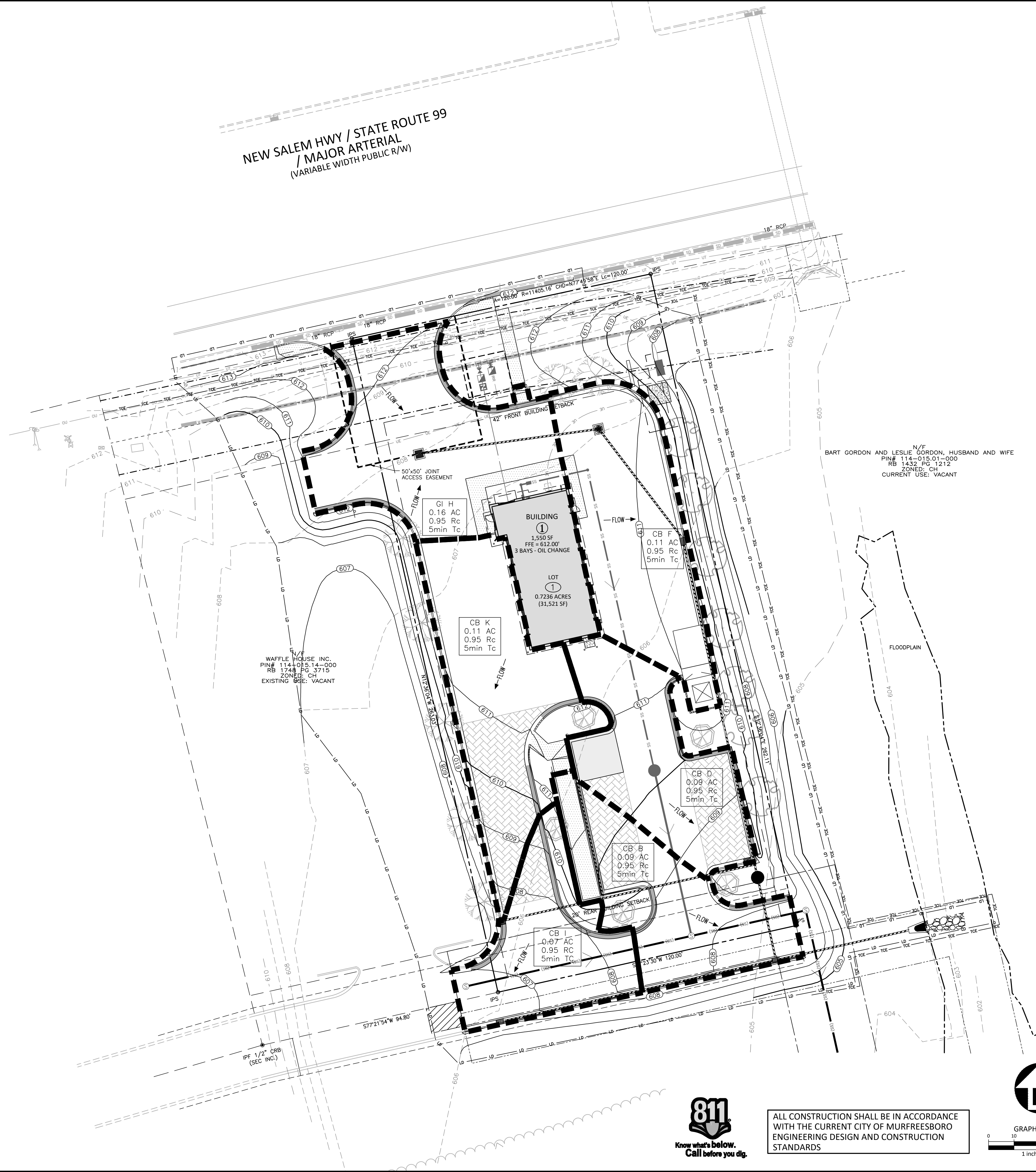
**FEMA FLOODPLAIN NOTE:**  
FLOOD MAP PANEL: # 47149C0255H (DATED JANUARY 5, 2007) - ZONE X (AREA OF MINIMAL FLOOD HAZARD)



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



\\DUR-K3-McAdams\Projects\NTR\2021110738\04-Production\Engineering\Construction Drawings\Current Drawings\2021110738X-C3D+BASIN MAP.dwg, 12/15/2021 10:17:49 AM, Ryan Brady



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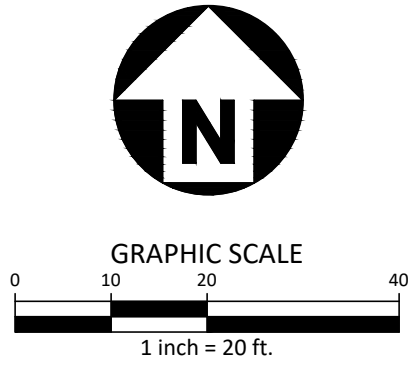
REVISIONS		
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6	-	-

PLAN INFORMATION	
PROJECT NO.	2021110738
FILENAME	2021110738X-C3D+BASIN MAP
CHECKED BY	NRW
DRAWN BY	RMB
SCALE	1" = 20'
DATE	10.14.2021

SHEET	
DRAINAGE BASIN AREA EXHIBIT	
C3.01	



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF MURFREESBORO ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



FEMA FLOODPLAIN NOTE:  
FLOOD MAP PANEL: # 47149CO25SH (DATED JANUARY 5, 2007) - ZONE X (AREA OF MINIMAL FLOOD HAZARD)

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



\\OUR-33\Drive\Projects\NTR\2021110738-04-Production\Drawings\Construction\Engineering\Current Drawings\2021110738-04-Prod.dwg, 12/15/2021, 10:23:51 AM, Ryan Brady

## MURFREESBORO WATER AND SEWER DEPARTMENT STANDARD SEWER NOTES

1. COMPLETE SPECIFICATIONS FOR THE SEWER LINES, "SEWER LINE SPECIFICATIONS AND DRAWINGS", FEBRUARY 2019 ED., ARE ON FILE AT THE MURFREESBORO WATER RESOURCES DEPARTMENT ENGINEERING ANNEX AND CAN ALSO BE FOUND ONLINE AT [HTTPS://WWW.MURFREESBOROTN.GOV/546/TECHNICAL-SPECIFICATIONS](https://www.murfreesborotn.gov/546/TECHNICAL-SPECIFICATIONS)
2. SEWER CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL MWPD SPECIFICATIONS AND DRAWINGS.
3. CONTRACTOR MUST HAVE A STATE OF TENNESSEE LICENSE, MUNICIPAL UTILITY (MU) CLASSIFICATION, TO PERFORM WORK.
4. UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOMEOWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE BUILDER AND/OR HOMEOWNER SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THIS REQUIREMENT.
5. TRENCH CHECK DAMS, AS CALLED OUT IN THE MWPD SPECIFICATIONS, ARE TO BE INSTALLED AT THE DISCRETION OF THE WATER & SEWER DEPARTMENT.
6. THE EXISTING SEWER MAINS AND/OR MANHOLES MUST BE TESTED AND/OR TELEVIEWED BEFORE AND AFTER CONSTRUCTION. SHOULD THE SEWER NOT BE TESTED AND/OR TELEVIEWED PRIOR TO CONSTRUCTION ANY DEFECTS FOUND AFTER CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AT HIS OR HER EXPENSE.
7. ALL PROPOSED MANHOLES MUST BE WRAPPED IN A CONSEAL, OR AN APPROVED EQUAL, 12" MINIMUM WATER AND SOIL BARRIER WRAP AT EACH MANHOLE SECTION JOINT AND AT ANY OTHER MANHOLE COMPONENT AS DIRECTED BY MWPD.
8. NO MORE THAN 25 PERCENT OF THE DOLLAR AMOUNT OF THE CONTRACT MAY BE AWARDED TO SUBCONTRACTORS.
9. A MAXIMUM OF 2 - 6" (6 IN.) ADJUSTMENT RINGS WILL BE ALLOWED PER ANY EXISTING OR PROPOSED MANHOLES ASSOCIATED WITH THIS INSTALLATION. IF ANY MANHOLE REQUIRES ADJUSTMENT BEYOND THE 2 - 6" ADJUSTMENT RINGS ALLOWED THEN THE CONTRACTOR MUST REMOVE, ADJUST, OR ADD BARREL SECTIONS TO THE MANHOLE TO GET IT TO GRADE AT HIS OR HER OWN EXPENSE.
10. ALL NEWLY CONSTRUCTED SANITARY SEWER MAINS, REHABILITATED SANITARY SEWER LATERALS AND MAINS, EXISTING SANITARY SEWER MAINS THAT INTERSECT UNDER OR OVER A NEWLY CONSTRUCTED OR REMOVED UTILITY, OR ANY SEWER MAIN THAT HAS BEEN PHYSICALLY ALTERED IN ANY WAY MUST BE FULLY TELEVIEWED VIA AN IN-LINE CLOSED CIRCUIT TELEVISION (CCTV) POST CONSTRUCTION SURVEY FULLY COMPLIANT WITH THE GUIDELINES SET FORTH BY THE NATIONAL ASSOCIATION OF SEWER SERVICE COMPANIES' (NASSCO) PIPELINE ASSESSMENT CERTIFICATION PROGRAM (PACP) AT THE EXPENSE OF THE CONTRACTOR.

## APPROVED FOR CONSTRUCTION

THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE  
**MURFREESBORO WATER AND SEWER DEPARTMENT**  
UNDER THE AUTHORITY DELEGATED BY THE  
TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION  
DIVISION OF WATER POLLUTION CONTROL  
DIVISION OF WATER SUPPLY  
AND IS HEREBY APPROVED FOR CONSTRUCTION

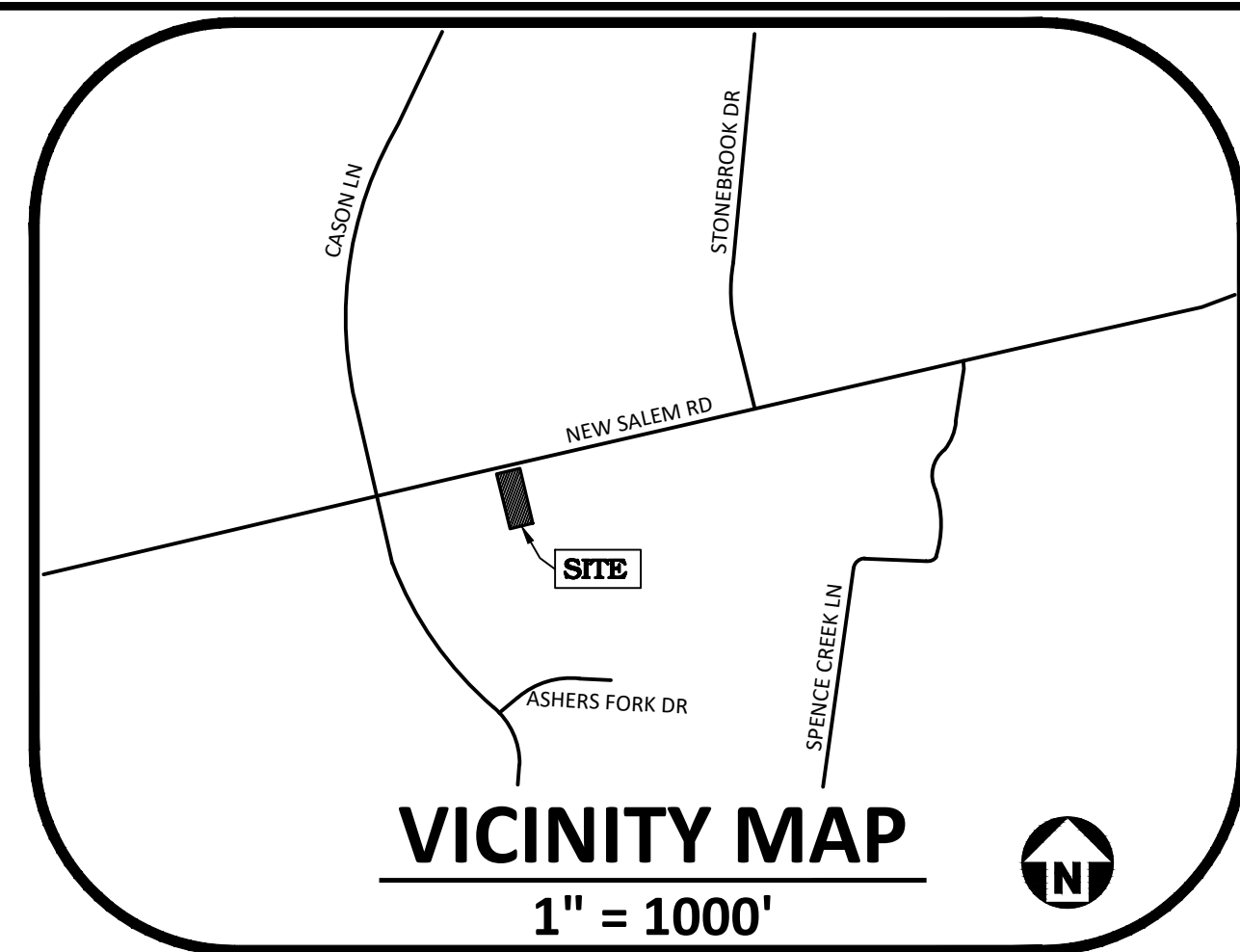
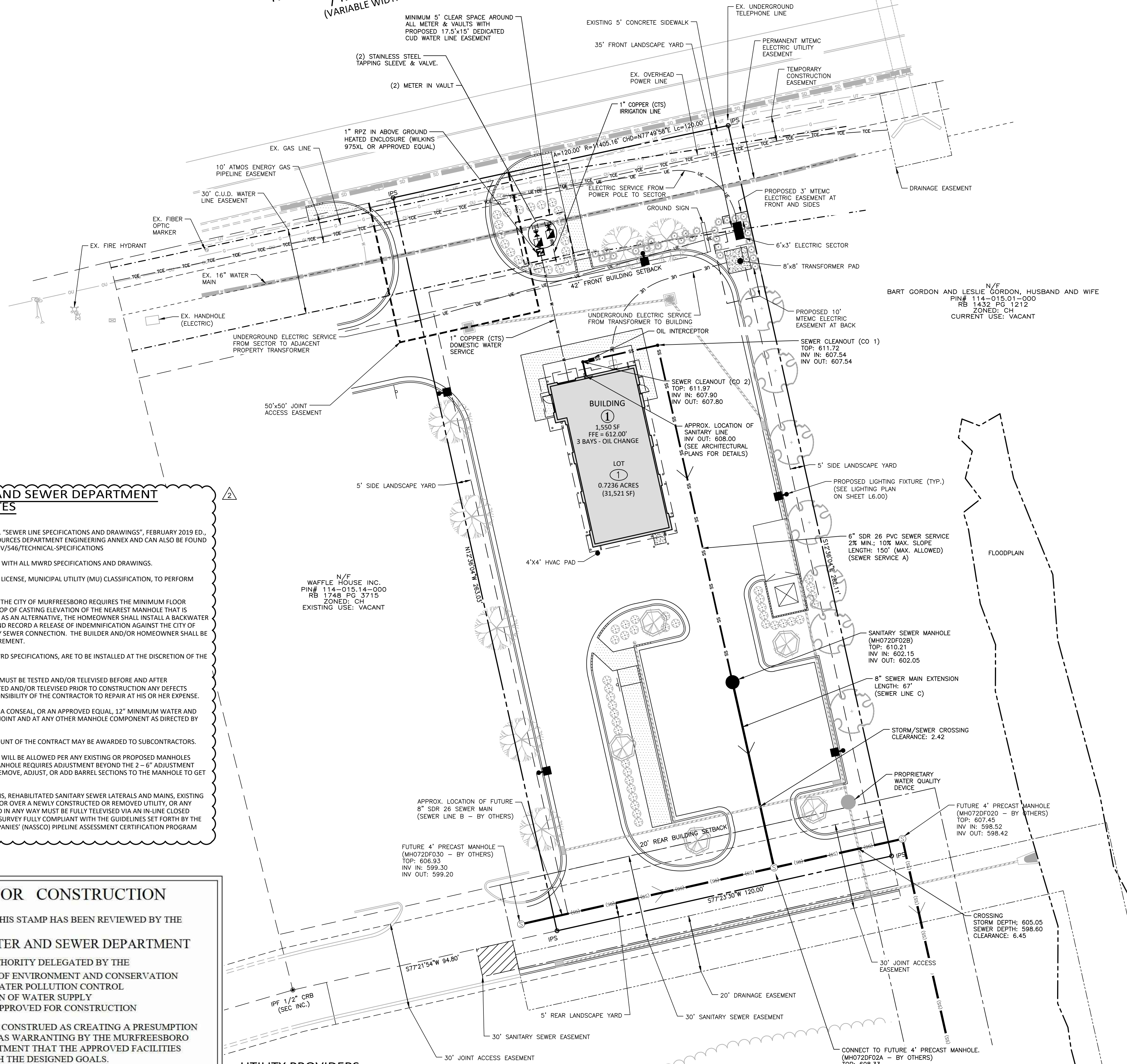
THIS APPROVAL SHALL NOT BE CONSTRUED AS CREATING A PRESUMPTION  
OF CORRECT OPERATION OR AS WARRANTING BY THE MURFREESBORO  
WATER AND SEWER DEPARTMENT THAT THE APPROVED FACILITIES  
WILL REACH THE DESIGNED GOALS.

APPROVAL DATE  
APPROVAL EXPIRES IN 12 MONTHS  
BY \_\_\_\_\_

## UTILITY PROVIDERS:

- WATER - CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY
- SEWER - MURFREESBORO WATER RESOURCES DEPARTMENT
- ELECTRIC - MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION
- GAS - ATMOS ENERGY
- TELEPHONE/CABLE - AT&T & COMCAST

NEW SALEM HWY / STATE ROUTE 99  
/ MAJOR ARTERIAL  
(VARIABLE WIDTH PUBLIC R/W)



## EXISTING UTILITY LEGEND

- |     |                        |    |                            |
|-----|------------------------|----|----------------------------|
| WV  | WATER VALVE            | SD | STORM DRAIN PIPE           |
| WM  | WATER METER            | OU | OVERHEAD UTILITY LINES     |
| FD  | FIRE HYDRANT           | W  | WATER LINE                 |
| GW  | GUY WIRE               | G  | GAS LINE                   |
| PP  | POWER POLE             | UT | UNDERGROUND TELEPHONE      |
| FOM | FIBER OPTIC MARKER     | SS | SANITARY SEWER LINE TRACED |
| SM  | SANITARY SEWER MANHOLE |    |                            |

## PROPOSED UTILITY LEGEND

- |     |                        |     |                            |
|-----|------------------------|-----|----------------------------|
| WV  | WATER VALVE            | W   | WATER SERVICE LINE         |
| WM  | METER & VAULT          | IRR | IRRIGATION LINE            |
| BFP | BACKFLOW PREVENTER     | SS  | SANITARY SEWER MAIN        |
| SM  | SANITARY SEWER MANHOLE | SS  | SEWER SERVICE LINE         |
| SC  | SEWER CLEAN-OUT        | UE  | UNDERGROUND ELECTRIC       |
| OS  | OIL SEPARATOR          | >   | SEWER FLOW DIRECTION ARROW |
| YL  | YARD LIGHTS            |     |                            |
| ES  | ELECTRIC SECTOR        |     |                            |

## UTILITY NOTES:

1. IN ACCORDANCE WITH TCA SECTION 7-59.318(B)(1), COMPETITIVE CABLE AND VIDEO SERVICES ACT, IN CASE OF NEW CONSTRUCTION OF PROPERTY DEVELOPMENT WHERE UTILITIES ARE TO BE PLACED UNDERGROUND, THE DEVELOPER OR PROPERTY OWNER SHALL GIVE ALL PROVIDERS OF CABLE OR VIDEO SERVING THE CITY OF MURFREESBORO DATES ON WHICH OPEN TRENCHING WILL BE AVAILABLE FOR THE PROVIDERS' INSTALLATION OF CONDUIT, PRECASTS OR VAULTS, AND LATERALS REFERRED TO AS "EQUIPMENT" TO BE PROVIDED AT SUCH PROVIDERS' EXPENSE.

## C.U.D WATERLINE NOTES

1. WATER SERVICE, DOMESTIC, FIRE AND/OR IRRIGATION IS PROVIDED BY CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY (CUDRC)
2. SEE CUD WATER PLANS FOR SPECIFIC DETAILS AND LAYOUT
3. OWNER(S) MUST SUBMIT A NOTARY SIGNED CUDRC SIGN AGREEMENT TO CUDRC IF A SIGN IS WITHIN A CUDRC EASEMENT. ANY PROPOSED SIGN CANNOT BE WITHIN TEN FEET OF A CUDRC WATER LINE, METER, VALVE, FIRE HYDRANT, OR OTHER RELATED APPURTENANCE
4. ALL "LIVE OR WET" WATER MAIN LINE TAPS ARE TO BE MADE BY CUDRC.
5. CUD WATER LINE TECHNICAL SPECIFICATIONS MAY BE FOUND AT WWW.CUDRC.COM.
6. UTILITY CONTRACTOR MUST ATTEND PRE-ARRANGED WATER LINE PRE-CONSTRUCTION MEETING WITH AUTHORIZED REPRESENTATIVE FROM CUD AND RECEIVE FORMAL TDEC "NOTICE TO PROCEED" FROM CUD BEFORE ANY WATER LINE CONSTRUCTION COMMENCES.
7. DURING WATER LINE CONSTRUCTION, AN AUTHORIZED REPRESENTATIVE OF CUDRC WILL BE INSPECTING THE ENTIRE WATER LINE INSTALLATION PROCESS TO ENSURE THAT THE CONSTRUCTION CONFORMS TO APPROVED PLANS AND SPECIFICATIONS.
8. NO ROCK LARGER THAN SIX INCHES (6") IN ANY DIMENSION MAY BE USED IN THE BACKFILL OVER THE WATER LINE AND NO ROCK LARGER THAN ONE HALF INCH (1/2") MAY BE USED IN THE TOP SIX (6") OF THE BACKFILL OVER THE WATER LINE.
9. MAINTAIN 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION (WATER OVER SEWER) BETWEEN SANITARY SEWER AND WATER LINES.
10. CONTRACTOR REQUIRED TO STAKE ALL WATER METER LOCATIONS PRIOR TO TAPS BEING INSTALLED.
11. CONSOLIDATED UTILITY DISTRICT MAY REQUIRE AN AMENDMENT PLAT OR SURVEY METES AND BOUNDS DESCRIPTION WITH EXHIBIT TO DEDICATE ANY NECESSARY EASEMENTS ONCE CONSTRUCTION IS COMPLETE.
12. CONTACT CUD ENGINEERING DEPARTMENT FOR ADDITIONAL INFORMATION 615-867-7330.

## MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION NOTES

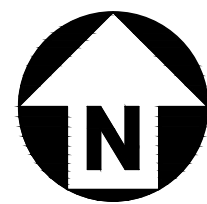
1. DEVELOPMENTS MUST MEET ANY AND ALL OPERATIONAL BULLETINS, POLICY BULLETINS, RULES AND REGULATIONS, AND BYLAW REQUIREMENTS RELATED TO RECEIVING NEW SERVICE PUBLISHED OR ESTABLISHED BY MTE.
2. PLEASE CONTACT MTE ENGINEERING FOR REQUIREMENTS ASSOCIATED WITH THE DEVELOPMENT. STANDARDS AND GUIDELINES CAN BE FOUND ON THE MTE WEBSITE AT MTE.COM/CONSTRUCTION STANDARDS.

## FEMA FLOODPLAIN NOTE:

FLOOD MAP PANEL: # 47149C0255H (DATED JANUARY 5, 2007) - ZONE X (AREA OF MINIMAL FLOOD HAZARD)

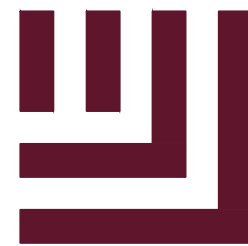


ALL CONSTRUCTION SHALL BE IN ACCORDANCE  
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ENGINEERING DESIGN AND CONSTRUCTION  
STANDARDS



GRAPHIC SCALE  
0 10 20  
1 inch = 20 ft.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



**McADAMS**

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## CLIENT

N3 REAL ESTATE  
1240 N KIMBALL AVE  
SOUTHLAKE, TX, 76092  
PHONE: 817.348.8748



**STRICKLAND BROTHERS OIL  
CHANGE - MURFREESBORO**  
SITE PLAN SUBMITTAL  
2375 NEW SALEM HWY  
MURFREESBORO, TN 37128



## REVISIONS

NO.	DATE	REVISION DESCRIPTION
1	10.27.2021	RESPONSE TO 1ST CITY COMMENTS
2	12.XX.2021	RESPONSE TO 2ND CITY COMMENTS
3	-	-
4	-	-
5	-	-
6	-	-

## PLAN INFORMATION

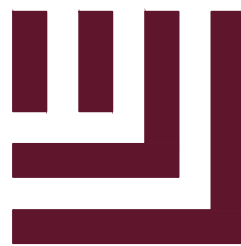
PROJECT NO. 2021110738  
FILENAME 2021110738-01  
CHECKED BY NRW  
DRAWN BY RMB  
SCALE 1" = 20'  
DATE 10.14.2021

## SHEET

## UTILITY PLAN

**C4.00**





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NO.	DATE	REVISION DESCRIPTION
1	10. 27. 2021	RESPONSE TO 1ST CITY COMMENTS
2	12. XX. 2021	RESPONSE TO 2ND CITY COMMENTS
3	-	-
4	-	-
5	-	-
6	-	-

#### PLAN INFORMATION

PROJECT NO. 2021110738  
FILENAME 2021110738X-C3D+GRADING  
CHECKED BY NRW  
DRAWN BY RMB  
SCALE 1" = 20'  
DATE 10. 14. 2021

#### SHEET

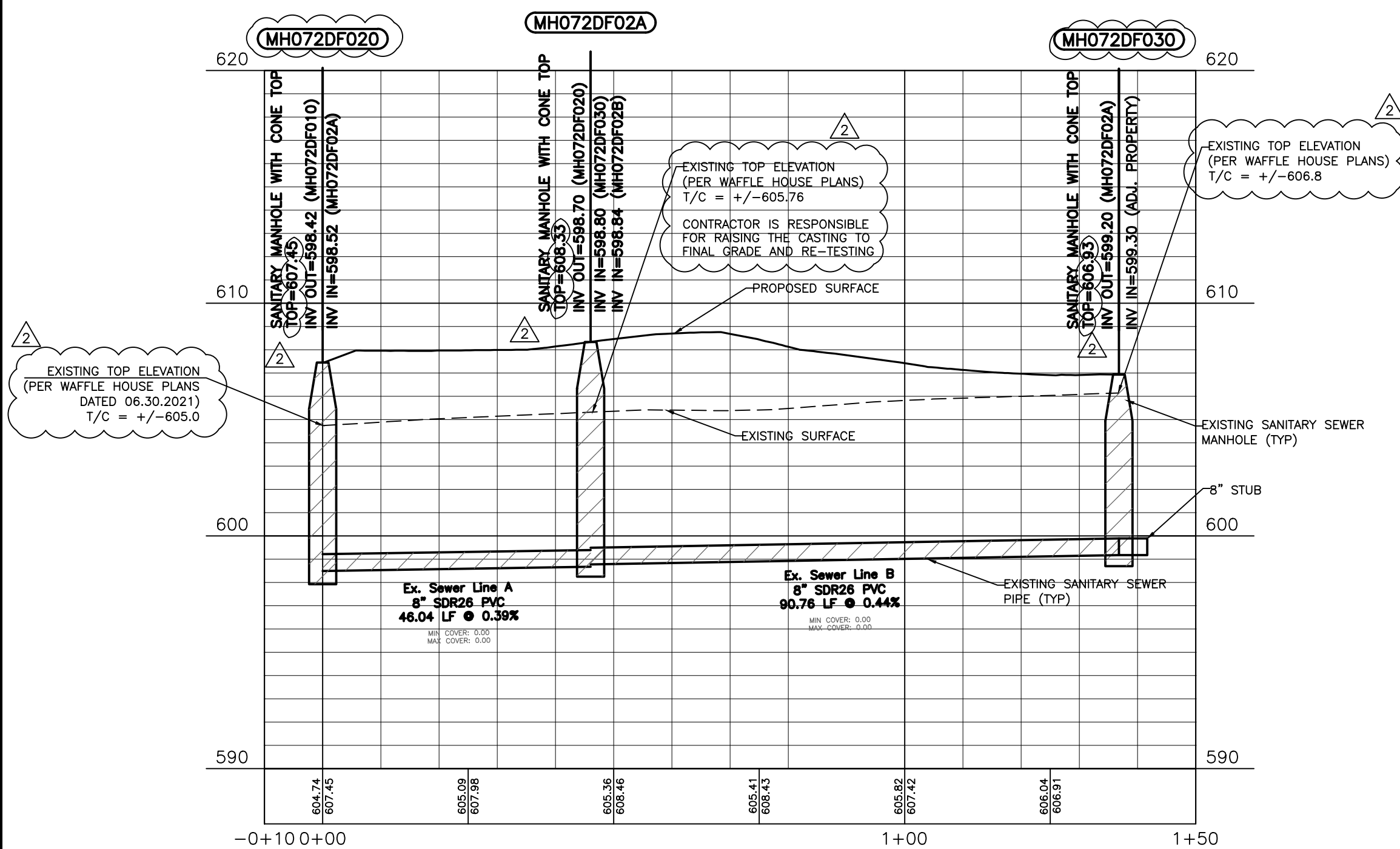
#### SEWER PROFILES

C4.01

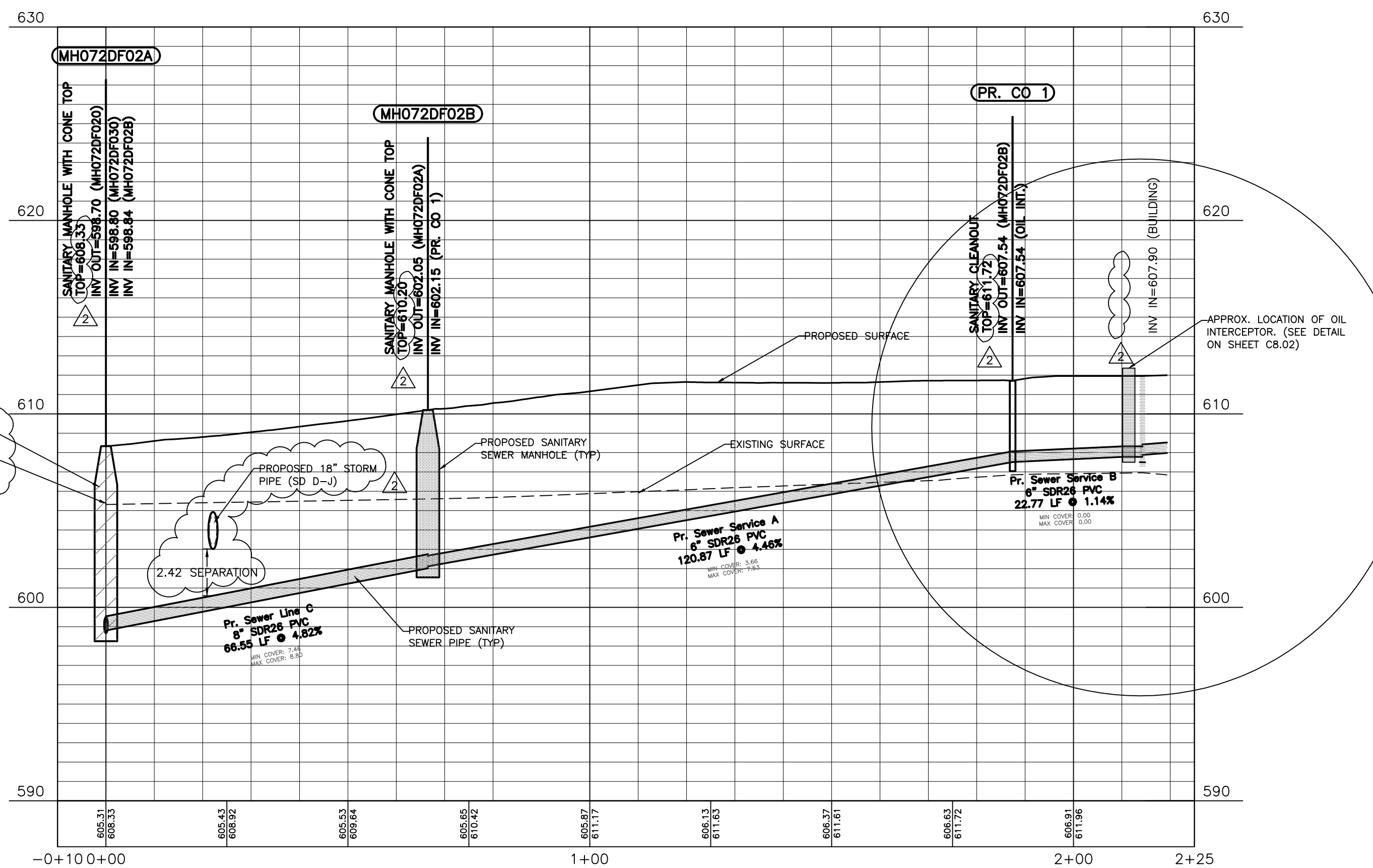
#### EX. SEWER MANHOLE NOTE:

THE CONTRACTOR IS RESPONSIBLE FOR RAISING THE CASTING OF ALL SANITARY SEWER MANHOLES TO BE BROUGHT TO FINAL GRADE AND RE-TESTING.

## EX SEWER LINE



## PR SEWER LINE



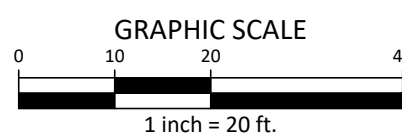
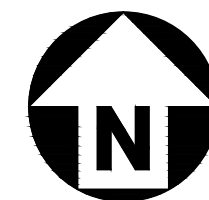
### APPROVED FOR CONSTRUCTION

THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE  
MURFREESBORO WATER AND SEWER DEPARTMENT

UNDER THE AUTHORITY DELEGATED BY THE  
TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION  
DIVISION OF WATER POLLUTION CONTROL  
DIVISION OF WATER SUPPLY  
AND IS HEREBY APPROVED FOR CONSTRUCTION

THIS APPROVAL SHALL NOT BE CONSTRUED AS CREATING A PRESUMPTION  
OF CORRECT OPERATION OR AS WARRANTING BY THE MURFREESBORO  
WATER AND SEWER DEPARTMENT THAT THE APPROVED FACILITIES  
WILL REACH THE DESIGNED GOALS.

APPROVAL DATE  
APPROVAL EXPIRES IN 12 MONTHS  
BY

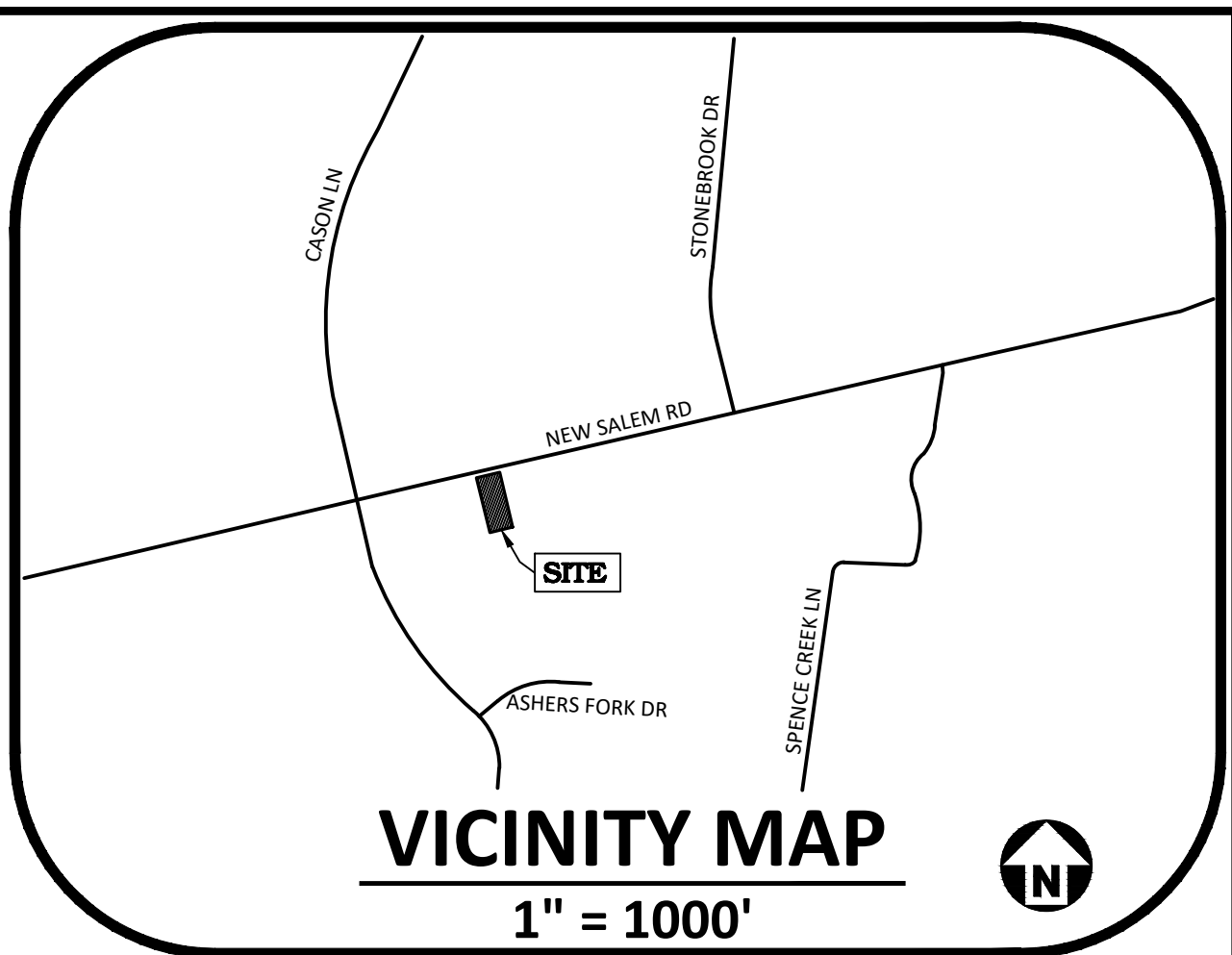
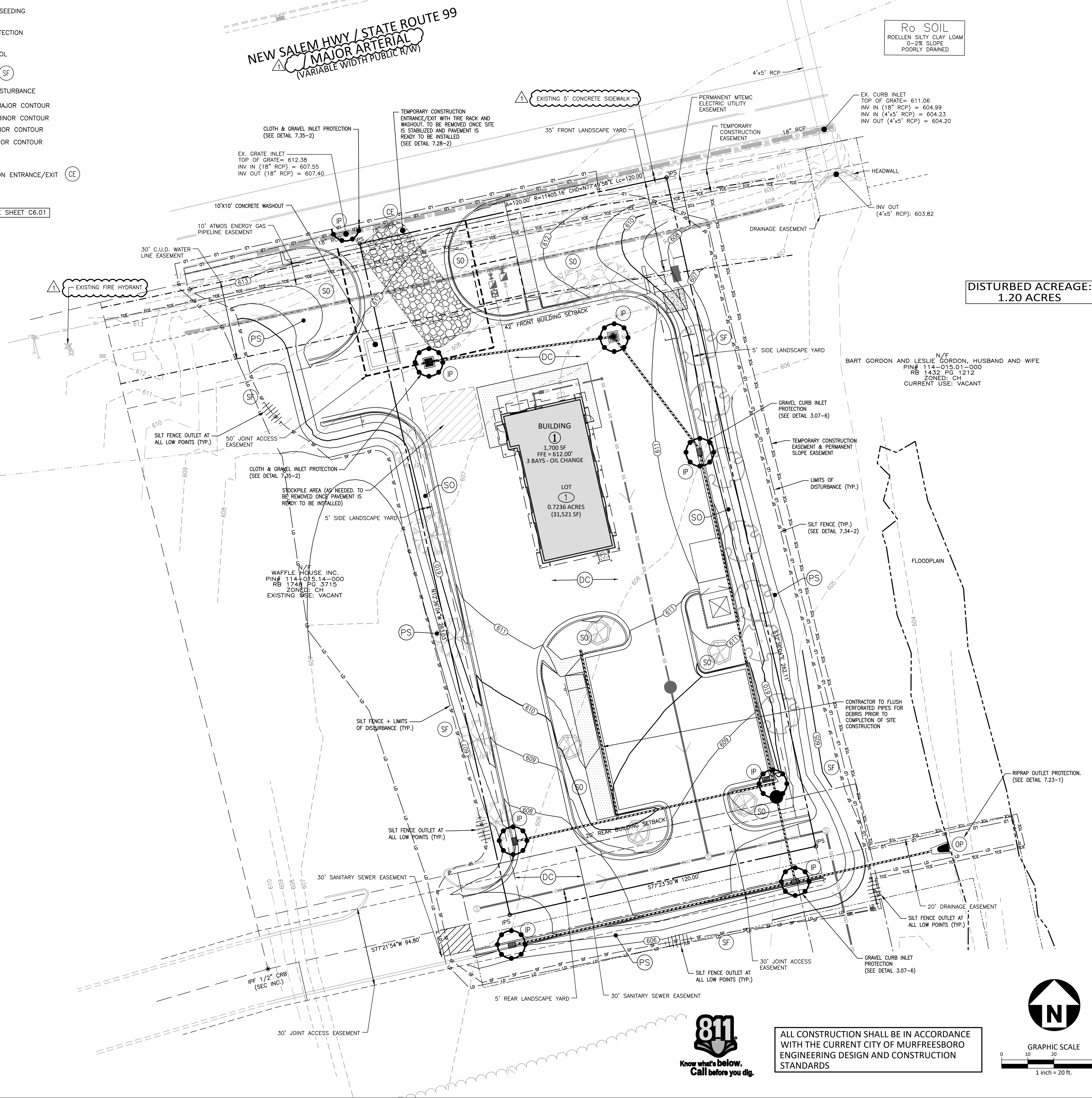
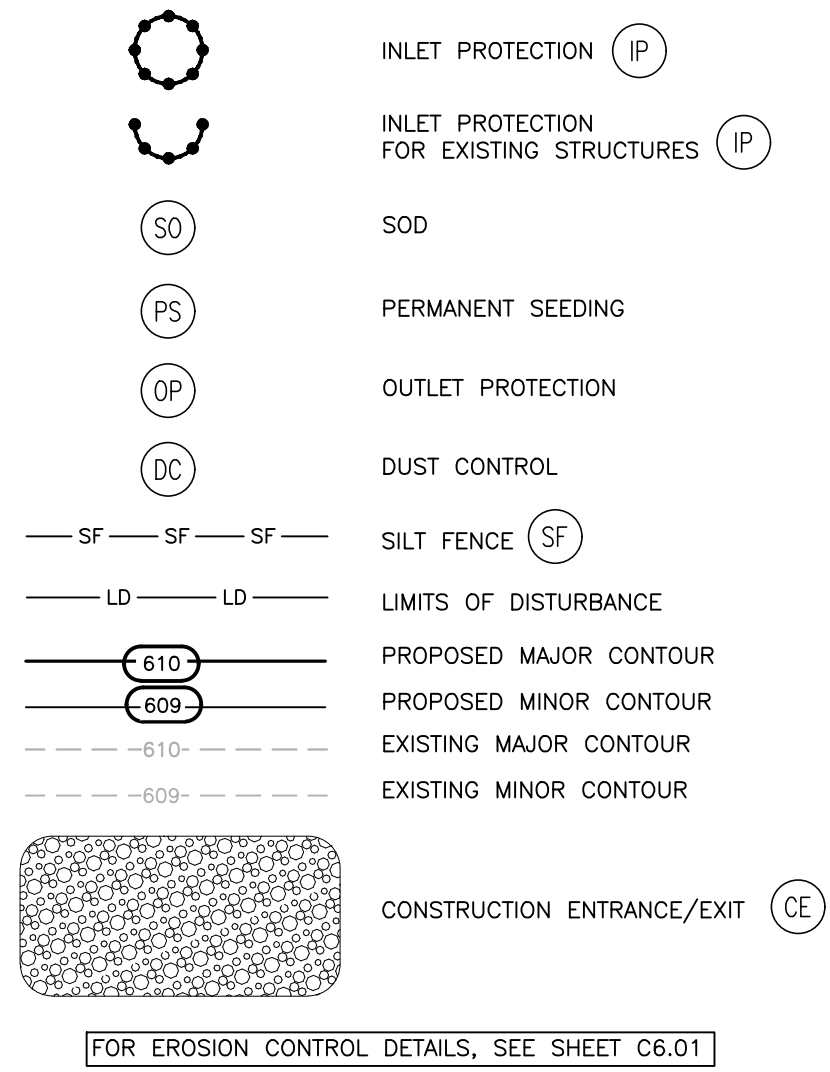


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ENGINEERING DESIGN AND CONSTRUCTION  
STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



EROSION CONTROL LEGEND



EROSION CONTROL SPECIFIC SEQUENCE

- OBTAIN LAND DISTURBING PERMIT, DEMOLITION PERMIT, AND PLACARD, AND POST THE PLACARD ON SITE.
- OBTAIN AN APPROVED (STAMPED) S&E CONTROL PLAN AND KEEP IT ON SITE, EITHER IN THE INSPECTION BOX, CONSTRUCTION OFFICE OR WITH THE CONTRACTOR.
- INSTALL TEMPORARY CONSTRUCTION FENCE, CONSTRUCTION ENTRANCE, SILT FENCING, SILT FENCE OUTLETS AND INLET PROTECTION AS SHOWN ON APPROVED EROSION CONTROL PLAN. GRADE ONLY AS NECESSARY TO INSTALL THESE DEVICES. INSTALL SILT FENCE OUTLETS AT LOW POINTS IN THE SILT FENCING AS NEEDED TO PREVENT BLOWOUTS.
- CONSTRUCTION FENCING SHALL BE PLACED ALONG LIMITS OF DEMOLITION. CONTRACTOR SHALL PLACE AND PHASE AS NECESSARY. ACCESS POINTS AND LIFE-SAFETY EGRESS SHALL COMPLY WITH OSHA REQUIREMENTS.
- IF A STOCKPILE IS NECESSARY, PLACE A DOUBLE ROW OF SILT FENCE 10 FEET APART. TREES AND GROUND COVER MAY BE REMOVED ONLY AS NECESSARY FOR THIS STOCKPILE. IF MATERIAL IS GOING TO BE HAULED OFF-SITE, A SEPARATE EROSION CONTROL PERMIT MUST BE OBTAINED FOR THE DESTINATION OF THE MATERIAL.
- NOTIFY THE CITY OF MURFREESBORO S&E SITE INSPECTOR AFTER INITIAL MEASURES HAVE BEEN INSTALLED AND PROJECT HAS STARTED.
- ONCE APPROVED, BEGIN DEMOLITION AS OUTLINED ON THE DEMOLITION PLAN (SHEET C1.00) AND BEGIN GRADING REMAINDER OF THE SITE. MAINTAIN EROSION CONTROL DEVICES AS NEEDED.
- PROCEED WITH GENERAL SITE GRADING AND BUILDING PAD GRADING/EXCAVATION PROCEDURES. CONSTRUCT BUILDING AND PARKING LOT. INSTALL UTILITIES.
- MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE. STORE TOPSOIL AS NEEDED AT THE LOCATION INDICATED ON THE PLAN. STABILIZE TOPSOIL WITH SEED AND MULCH AND INSTALL SILT FENCE AROUND ENTIRE PILE.
- CONTRACTOR SHALL MAINTAIN INLET PROTECTION AROUND ALL CONSTRUCTED INLETS AS SHOWN ON PLANS.
- ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE CHECKED BY CONTRACTOR FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- CONTINUE WITH FINAL SITE GRADING TO BRING THE SITE TO FINAL PROPOSED GRADES. ONCE GRADES HAVE BEEN FINALIZED, FOLLOW THE GUIDELINES FOR STABILIZATION AND SEEDING TO STABILIZE THE SITE.
- REQUEST FINAL APPROVAL BY CONSTRUCTION INSPECTOR.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AND STABILIZE THOSE AREAS.
- UPON APPROVAL OF PERMANENT STABILIZATION BY EROSION CONTROL INSPECTOR, REMOVE REMAINDER OF EROSION CONTROL MEASURES, GRADE AND STABILIZE AND PAVE REMAINDER OF SITE.
- NO CRITICAL AREAS ON SITE

EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PER THE STANDARDS AND SPECIFICATIONS OF THE MOST RECENT VERSION OF THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK (TEEC ESH).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES FOR THE DURATION OF THE PROJECT. ALL EROSION CONTROL DEVICES SHALL BE CHECKED DAILY TO ENSURE THAT ALL ARE PROPERLY IN PLACE AND FUNCTIONING AS PLANNED. ALL EROSION CONTROL DEVICES WILL BE REPAIRED (CLEANED) AS NECESSARY, AND WITHIN 48 HOURS FOLLOWING ANY RUNOFF PRODUCING STORM EVENT.
- ALL DISTURBED AREAS NOT RECEIVING OTHER PROPOSED IMPROVEMENTS TO RECEIVE TEMPORARY SEEDING, PERMANENT SEEDING AND MULCH. ALL SLOPES OF 2:1 OR GREATER MUST RECEIVE BLANKET AND MATTING IN ADDITION TO SEEDING AND MULCHING. PRACTICES AS STATED IN THE MOST RECENT VERSION OF THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK.
- STRUCTURAL FILL MATERIAL UNDER AND WITHIN 15 FEET OF THE BUILDING PAD AND THE UPPER 12 INCHES OF ROADS AND PARKING AREAS SHOULD BE PLACED IN HORIZONTAL LIFTS, WITH AN 8 INCH TO 9 INCH LOOSE THICKNESS, AND COMPACTED TO AT LEAST 98% OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698 (STANDARD PROCTOR).
- CONTRACTOR TO BE RESPONSIBLE FOR REROUTING ALL TEMPORARY DIVERSIONS AND SILT FENCE AS NECESSARY DURING CONSTRUCTION TO MAINTAIN PROPER DRAINAGE OF DISTURBED AREAS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ADDITIONAL E&S MEASURES OR MAINTENANCE REQUESTS OR REROUTING, OR RELOCATING, E&S MEASURES AS DEEMED NECESSARY BY THE LOCAL AUTHORITY OR LATEST EDITION OF THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK.
- ALL FILL AREAS TO BE STRIPPED OF UNSUITABLE MATERIAL BEFORE PLACING AND COMPACTING FILL MATERIAL.
- CONTRACTOR SHALL CONTACT ENGINEER IF ADDITIONAL CONSTRUCTION ENTRANCE MEASURES ARE NEEDED TO PREVENT THE TRACKING OF MUD, DIRT, OR DEBRIS ONTO ANY PAVED SURFACES INSIDE OR OUTSIDE OF THE PROPOSED CONSTRUCTION LIMITS.
- UPON COMMENCEMENT OF DEMOLITION ACTIVITIES THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND SUPPLYING THE NECESSARY SAMPLES AND RESULTS TO DETERMINE FERTILIZER AND NUTRIENT APPLICATION FOR THE ESTABLISHMENT OF GRASS IN THE SITE.

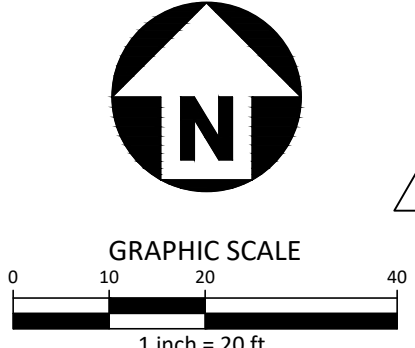
STANDARD NOTES:

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, CONSTRUCTION FENCE OR TREE PROTECTION FENCING (IF APPLICABLE) SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING, OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- CONTACT THE TENNESSEE ONE CALL CENTER AT (800)-351-1111 AT LEAST THREE (3) FULL BUSINESS DAYS PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

FEMA FLOODPLAIN NOTE:  
FLOOD MAP PANEL: # 47149C0255H (DATED JANUARY 5, 2007) - ZONE X (AREA OF MINIMAL FLOOD HAZARD)



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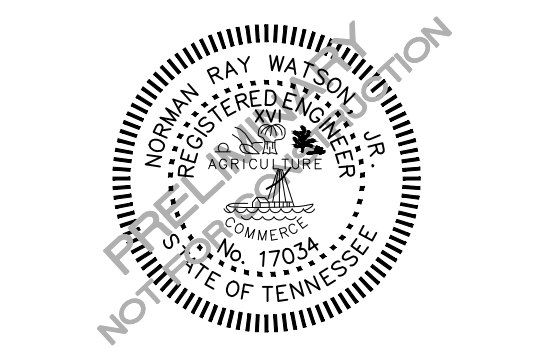
**CLIENT**

N3 REAL ESTATE  
1240 N KIMBALL AVE  
SOUTHLAKE, TX, 76092  
PHONE: 817.348.8748



**STRICKLAND BROTHERS OIL  
CHANGE - MURFREESBORO**

SITE PLAN SUBMITTAL  
2375 NEW SALEM HWY  
MURFREESBORO, TN 37128



REVISIONS

NO.	DATE	REVISION DESCRIPTION
1	10. 27. 2021	RESPONSE TO 1ST CITY COMMENTS
2	12. XX. 2021	RESPONSE TO 2ND CITY COMMENTS
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO.	2021110738
FILENAME	2021110738-EC1
CHECKED BY	NRW
DRAWN BY	RMB
SCALE	1" = 20'
DATE	10. 14. 2021

**EROSION CONTROL  
PLAN  
C6.00**



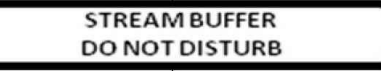
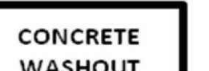


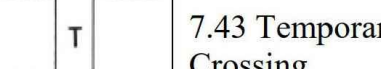

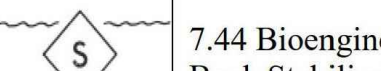
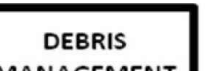
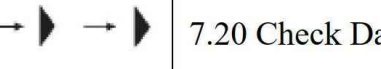

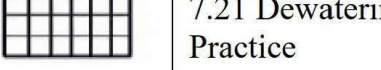

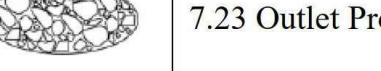

4.0 OVERVIEW OF MANAGEMENT PRACTICES

This section covers each management practice in a manner to help the user understand when each practice can or should be used. It should be the first step towards determining which practices should be incorporated into the Stormwater Pollution Prevention Plan (SWPPP). This section does not contain design information and guidance. Section 7 of this manual should be consulted for that information.

4.1 SYMBOLS

The following table contains standard symbols for structural management practices. Note that Site Preparation management practices (Practices 7.1 through 7.5) are a component of the initial site planning and overall site management and therefore do not have specific symbols. Management practices are grouped by management practice category: Site Preparation, Stabilization, Pollution Prevention, Runoff Control and Management, Sediment Control, and Stream Protection Practices.

Table 4.1 Management Practices Symbols

STREAM PROTECTION PRACTICES		POLLUTION PREVENTION PRACTICES	
 Stream Buffer DO NOT DISTURB	7.41 Stream Buffers	 CONCRETE WASHOUT	7.16 Concrete washout
 Stream Diversion Channel		 VEHICLE MAINTENANCE	7.17 Vehicle maintenance
 7.43 Temporary Stream Crossing		 CHEMICAL STORAGE	7.18 Chemical storage
 7.44 Bioengineered Stream Bank Stabilization		 DEBRIS MANAGEMENT	7.19 Trash and debris
RUNOFF CONTROL PRACTICES		STABILIZATION PRACTICES	
 7.20 Check Dam		 MU	7.6 Disturbed Area Stabilization with straw mulch
 7.21 Dewatering Treatment Practice		 MO	7.7 Disturbed area stabilization with other mulches
 7.23 Outlet Protection		 PS	7.8 Disturbed Area Stabilization with Permanent Vegetation

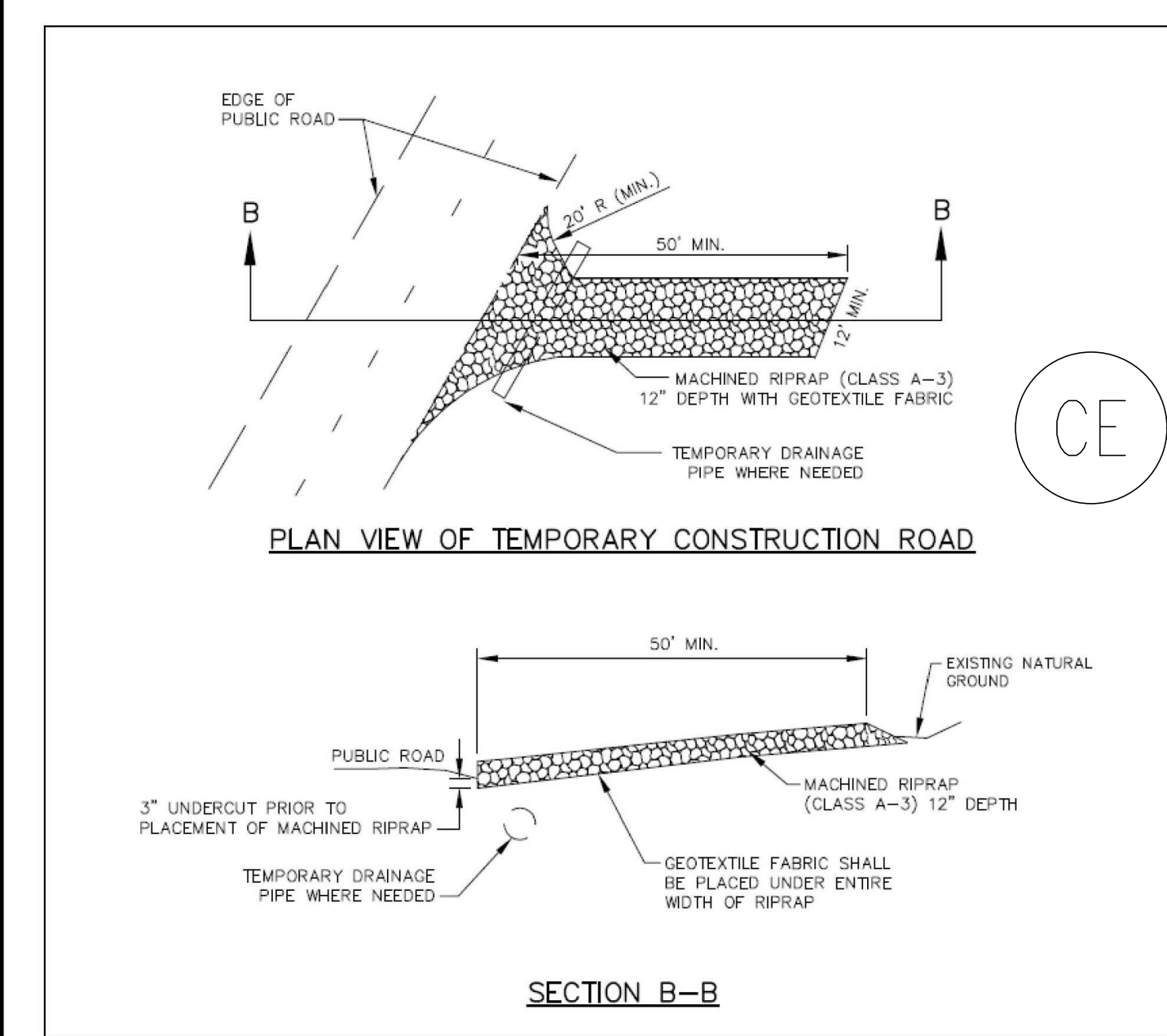


Figure 7.28-2 Construction Exit Detail

**Maintenance and Inspection Points**

The exit must be maintained in a condition that will prevent tracking or flow of material onto public rights-of-way or into the storm drain system. This may require periodic top dressing with fresh stone or full replacement of stone as conditions demand, and repair and/or cleanout of any related diversions and sediment traps. All materials spilled, dropped, washed, or tracked from vehicles or site onto roadways or into storm drains must be removed by the end of the day.

CONCRETE WASHOUT


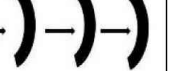

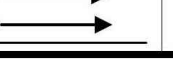








**Maintenance and Inspection Points**

Ensure contractors avoid mixing excess amounts of fresh concrete and perform washout of concrete trucks offsite or in designated areas only. Do not allow concrete trucks to wash into storm drains, open ditches, streets, or streams. Do not allow excess concrete to be dumped onsite, except in designated areas. Do not wash sweepings from exposed aggregate concrete into the street or storm drains.

Temporary concrete washout facilities should be maintained to provide adequate holding capacity with a minimum freeboard of 4 inches for above grade facilities and 12 inches for below grade facilities. Inspect plastic linings and sidewalls of site-built washouts to ensure they have not been damaged during construction activities. Inspect all surfaces of prefabricated washouts to ensure the container is not leaking.

Washout facilities must be cleaned, or new facilities must be constructed and ready for use once the washout is 75% full.

Inspectors should note whether washout facilities are being used and maintained regularly. If inspector finds that concrete trucks are being washed out in locations other than designated washout areas, the inspector should notify the site superintendent immediately and the site superintendent should correct the issue.

 7.24 Slope Drain	SO	7.9 Disturbed Area Stabilization with Sod
 7.25 Tubes and Wattles	TS	7.10 Disturbed Area Stabilization with Temporary Vegetation
 7.26 Rolled Erosion Control Products		7.11 Rolled Erosion Control Products
 7.27 Channels	HYD	7.12 Hydro Applications
SEDIMENT CONTROL PRACTICES		7.13 Soil binders and tackifiers
 7.28 Construction Exit	PLAS	7.14 Emergency stabilization with plastic
 7.29 Tire washing facility	SE	7.15 Soil Enhancement
 7.30 Filter Ring	SEDIMENT CONTROL PRACTICES	
 7.31 Sediment Basin	CRS	7.36 Construction Road Stabilization
 7.32 Sediment Trap		7.37 Tubes and Wattles (Sediment Control)
 7.33 Baffles	F Berm	7.38 Filter berm
 7.34 Silt Fence	Turbidity curtain	7.39 Turbidity curtain
 7.35 Inlet Protection	F	7.40 Flocculants

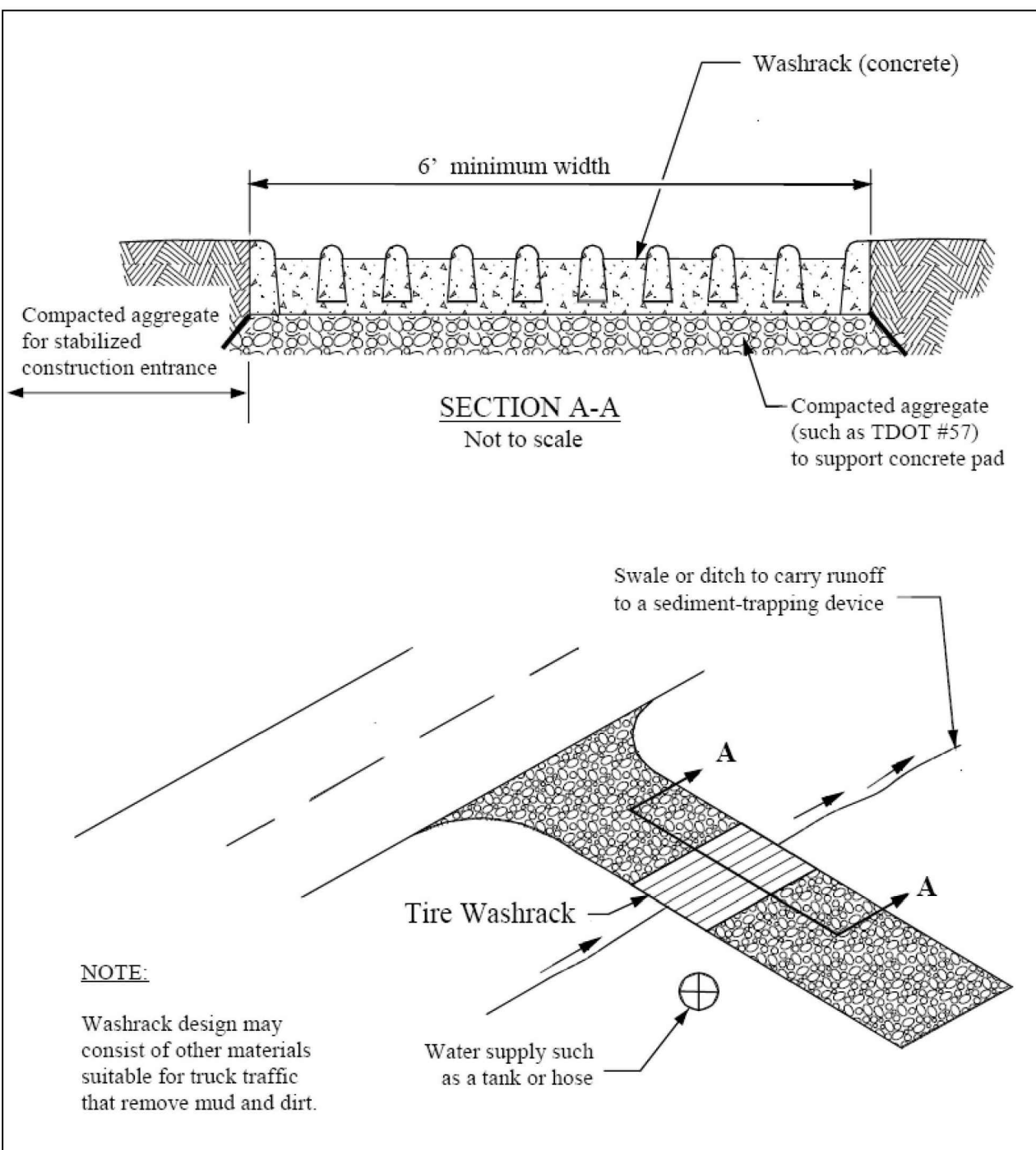


Figure 7.29-1 Tire Wash Rack (Source: City of Knoxville)

**Maintenance and Inspection Points**

Remove accumulated sediment in tire wash rack and sediment traps as necessary to maintain system performance. Inspect routinely for damage and repair as needed.

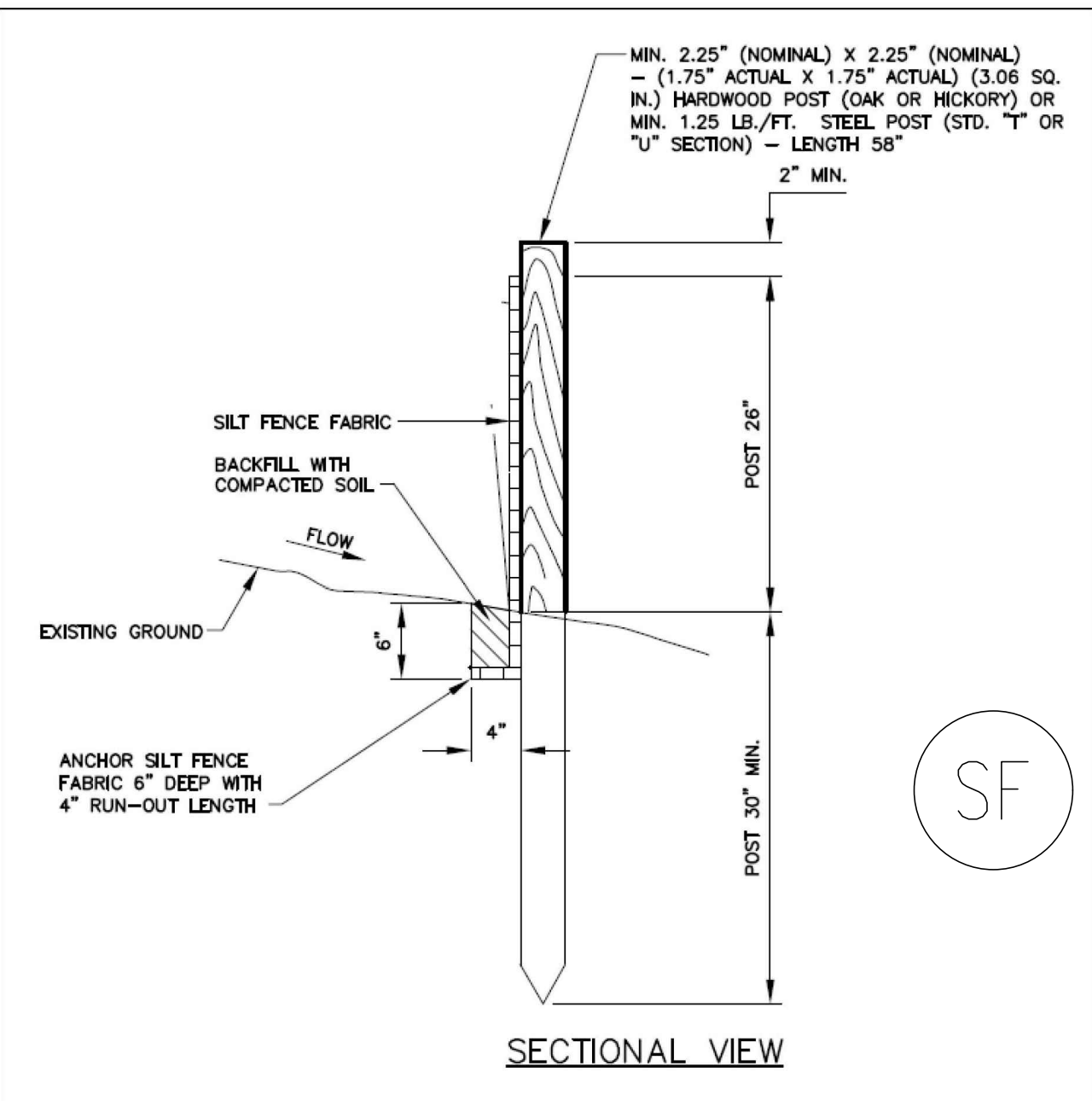
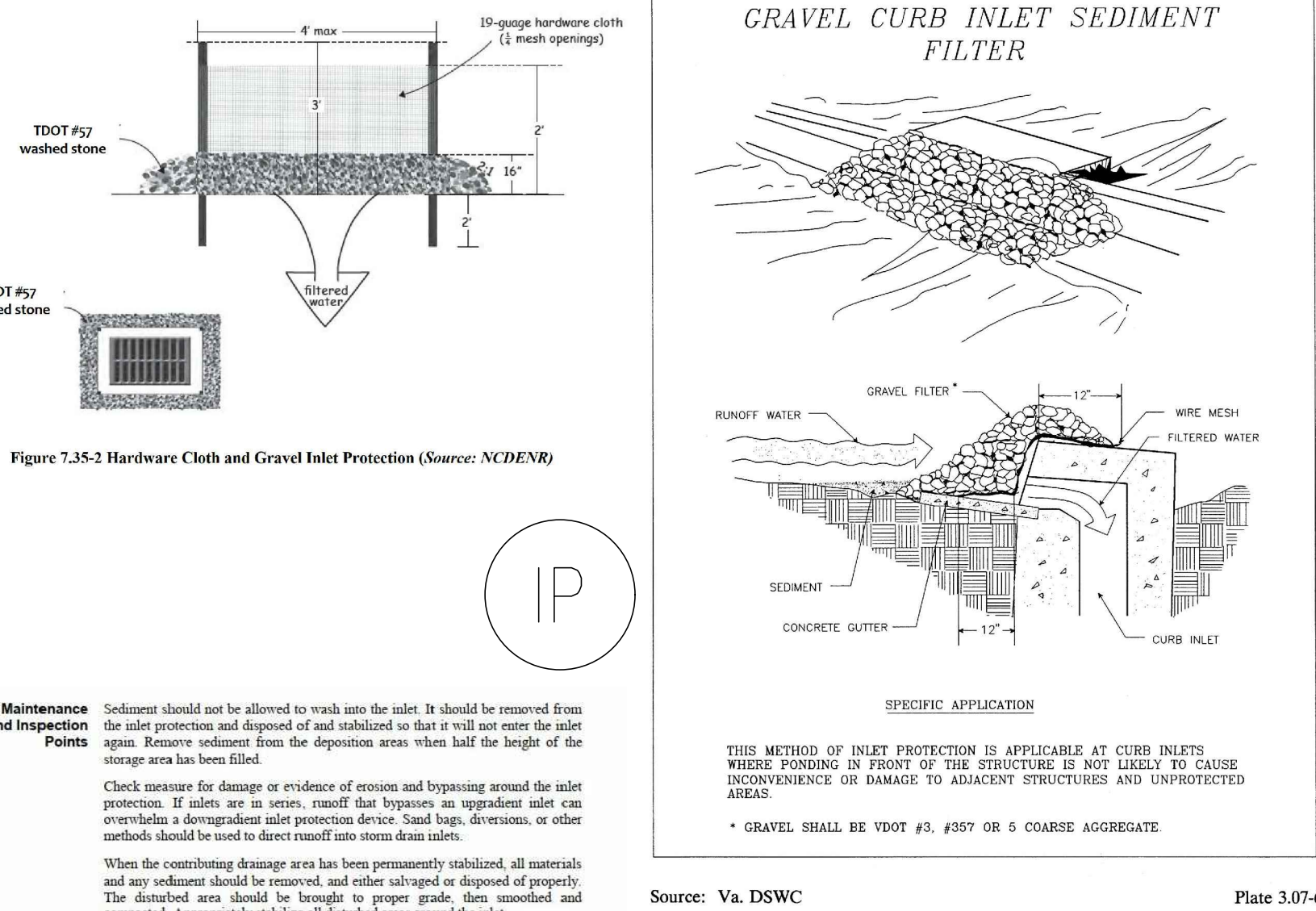


Figure 7.34-2 Silt fence details

**Maintenance and Inspection Points**

Remove sediment once it has accumulated to 1/2 the original height of the barrier.

Replace filter fabric whenever it is worn or has deteriorated to such an extent that the effectiveness of the fabric is reduced.

All sediment accumulated at the fence should be removed and properly disposed of before the fence is removed.

Repair sagging silt fence to prevent failure or overtopping.

Monitor the toe for evidence of piping or erosion along the toe. Install J-hooks wherever runoff flows along the toe of the fencing to prevent undermining.

Silt fence should remain in place until disturbed areas have been permanently stabilized.

PROJECT DESCRIPTION:

THE PROJECT IS LOCATED IN THE CITY OF MURFREESBORO, TENNESSEE NEAR THE INTERSECTION OF NEW SALEM HWY AND GASON LN. THE PROJECT INVOLVES THE CONSTRUCTION OF AN AUTOMOTIVE OIL CHANGE BUILDING WITH ASSOCIATED PARKING AND UTILITIES. THERE WILL BE ONE SHARED ACCESS DRIVE ALONG NEW SALEM HWY.

EXISTING SITE CONDITIONS:

THE CURRENT USE IS AN OPEN FIELD ON A VACANT 0.723 ACRE LOT.

ADJACENT AREAS:

NORTH: NEW SALEM HWY  
SOUTH: TREE LINE & WETLAND  
EAST: VACANT LOT & FLOODPLAIN  
WEST: UNDEVELOPED LOT

OFF-SITE AREAS:

THE PROPOSED PROJECT WILL NOT NEGATIVELY IMPACT OFF-SITE AREAS. NO BORROW SITES, WASTE OR SURPLUS AREAS WILL BE LOCATED ON OFF-SITE AREAS. THE PROJECT SHOWS STORMWATER DISCHARGE INTO THE FLOODPLAIN TO THE EAST. THE EXISTING STORM GRATE ALONG NEW SALEM HWY IS TO REMAIN.

SOILS:

PER WEB SOIL SURVEY OF RUTHERFORD COUNTY, TENNESSEE (DATED 06.01.2020), SOILS Bt/B (BRADVILLE SILT - 2-5% SLOPES) AND Ro (ROLEIN SILTY CLAY LOAM - 0-2% SLOPES) ARE LOCATED ONSITE

EROSION AND SEDIMENT CONTROL MEASURES:

ALL STRUCTURAL AND VEGETATIVE EROSION AND SEDIMENT CONTROL MEASURES MUST BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE TENNESSEE EROSION CONTROL HANDBOOK SPECIFICATION (CHAPTER 7), LATEST EDITION. SEE SHEET C6.00 FOR LOCATIONS AND C6.01 FOR DETAILS.

PROPOSED MEASURES:  
- CONSTRUCTION ENTRANCE AT ENTRANCE ON ACCESS ROAD  
- SILT FENCE AROUND PERIMETER OF SITE  
- INLET PROTECTION ON PROPOSED INLETS  
- DUST CONTROL

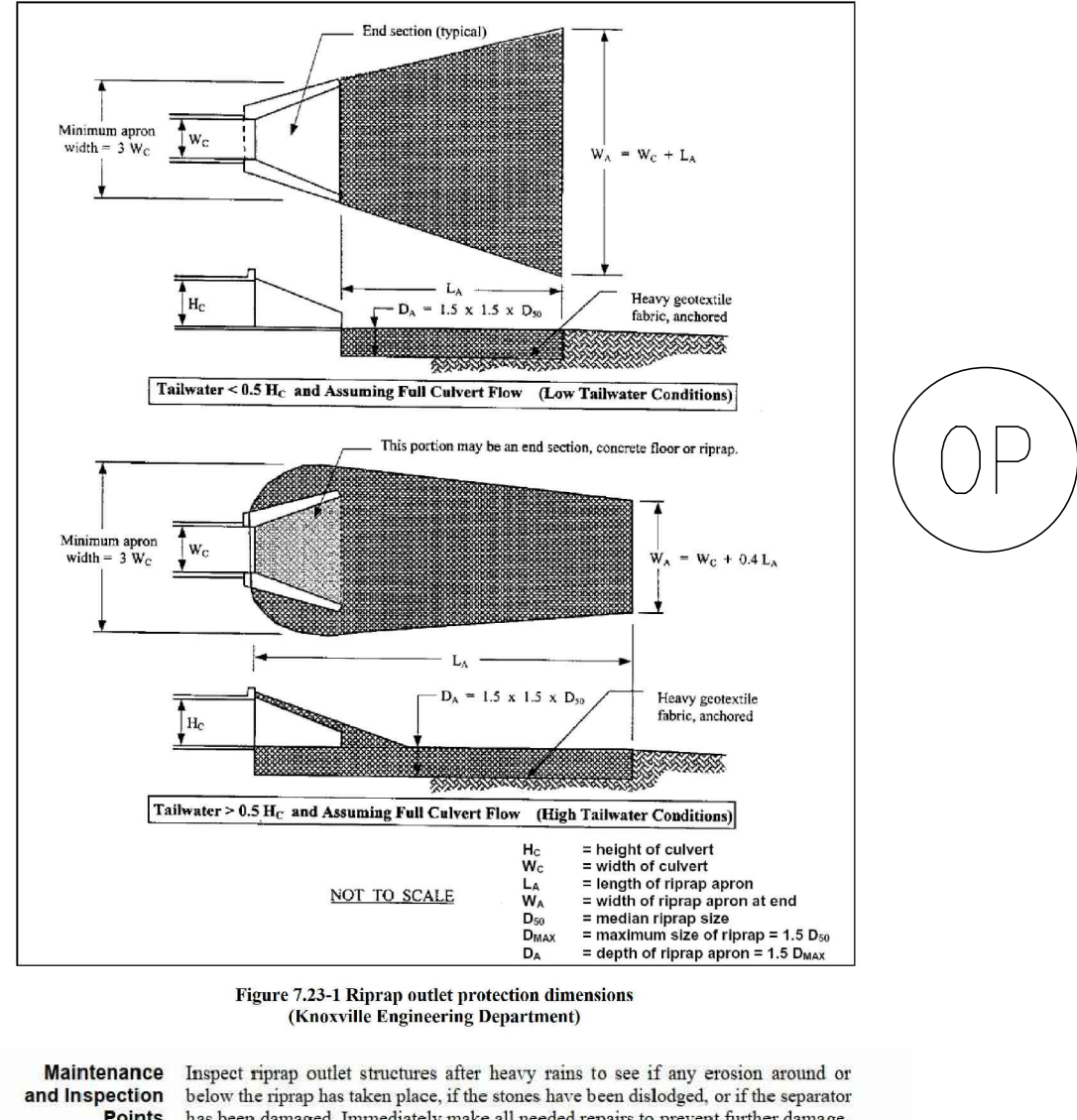


Figure 7.23-1 Riprap outlet protection dimensions (Knoxville Engineering Department)

**Maintenance and Inspection Points**

Inspect riprap outlet structures after heavy rains to see if any erosion around or below the riprap has taken place, if the stones have been dislodged, or if the separator has been damaged. Immediately make all needed repairs to prevent further damage.

Table 7.9-1 Preferred seed mixes using natives or naturalized plants and planting dates.

Zone	Best	Marginal	Preferred Rate/Mix (lb/ac PLS)
Region I	Poorly drained soils Feb 1 – Mar 20 Sept 1 – Sept 30	Mar 20 – Apr 30 Sept 30 – Oct 31	15 Browntop millet* (nurse crop) 2 switch grass 4 little bluestem 4 Virginia wild rye 4 purpletop 2 partridge pea 2 black-eyed susan
	Well drained soils Apr 1 – July 15		15 Browntop millet* (nurse crop) 4 little blue stem 4 purpletop 2 sidecoats gramma 2 partridge pea 2 black-eyed susan
	High maintenance Apr 1 – July 15		15 Browntop millet* (nurse crop) 2 partridge pea 45 Red fescue* 45 hard fescue* 25 chewing fescue*
Region II	Low maintenance; Slopes and Poor, shallow soils Aug 25 – Sept 15 Feb 15 – May 30	Sept 15 – Oct 25 Mar 21 – Apr 15	15 Browntop millet* (nurse crop) 5 little bluestem 2 switch grass 2 tall dropseed 5 sidecoats gramma 2 black-eyed susan 2 partridge pea 1 greyheaded coneflower
	Low maintenance; Moderate slopes; soils >6 in. depth Aug 25 – Sept 15 Feb 15 – May 30	Sept 15 – Oct 25 Mar 21 – Apr 15	15 Browntop millet* (nurse crop) 5 purpletop 5 little bluestem 5 Virginia wild rye 2 black-eyed susan 2 partridge pea 1 greyheaded coneflower
	High maintenance Aug 30 – Oct 15	Feb 15 – Apr 15	15 Browntop millet* (nurse crop) 2 partridge pea 45 Red fescue* 45 hard fescue* 25 chewing fescue*
Region III	>2500 ft elevation; steep slopes Mar 20 – Apr 30	Aug 15 – Aug 30 Mar 5 – Mar 20 Apr 20 – June 15	15 Browntop millet* (nurse crop) 4 purpletop 10 little bluestem 10 broomsedge 2 partridge pea 2 black-eyed susan 0.5 monarda (bergamot)
	<2500 ft elevation; steep slopes Aug 15 – Sept 1 Mar 1 – Apr 1	Sept 1 – Sept 15 Apr 1 – June 10	15 Browntop millet* (nurse crop) 10 little bluestem 10 Indian grass 2 black-eyed susan 0.5 monarda (bergamot) 4 Maryland sunn
Region III cont'd	>2500 ft elev.; Shallow soils Mar 20 – Apr 20	Aug 15 – Aug 30 Mar 5 – Mar 20 Apr 20 – June 15	15 Browntop millet* (nurse crop) 4 purpletop 10 little bluestem 10 broomsedge 2 partridge pea 2 black-eyed susan 0.5 monarda (bergamot)
	<2500 ft elev.; Shallow soils Aug 15 – Sept 1 Mar 1 – Apr 1	Sept 1 – Sept 15 Apr 1 – June 10	15 Browntop millet* (nurse crop) 4 purpletop 10 little bluestem 10 Indian grass 2 black-eyed susan 0.5 monarda (bergamot) 4 Maryland sunn
Region III cont'd	>2500 ft elev.; Moderate slopes Mar 20 – Apr 20	Aug 15 – Aug 30 Mar 5 – Mar 20 Apr 20 – June 15	15 Browntop millet* (nurse crop) 4 purpletop 10 little bluestem 10 broomsedge 2 partridge pea 2 black-eyed susan 0.5 monarda (bergamot)
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In Table 7.9-1, the bold dates are the preferred dates for seeding. Also, high maintenance areas include lawns and other grassed areas that will be maintained for aesthetics.

**Maintenance and Inspection Points**

Any areas that have washed out due to high stormwater flows, areas that have been disturbed by blowing wind, and areas that do not show good germination should be retreated.

Inspect seeded areas for failure and make necessary repairs and reseeds within the same season, if possible.

**Reseeding:** If a stand has inadequate cover, re-evaluate choice of plant materials and quantities of lime and fertilizer. Re-establish the stand after seeded preparation or over-seed the stand. Consider seeding temporary, annual species if the time of year is not appropriate for permanent seeding.

Correct sod placement

**Maintenance and Inspection Points**

After the first week, water as necessary to maintain adequate moisture in the root zone and prevent the sod from going dormant. Grass height should not be cut to less than 2" to 3". Re-sod areas where an adequate stand of sod is not obtained.



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STRICKLAND BROTHERS OIL  
CHANGE - MURFREESBORO  
SITE PLAN SUBMITTAL  
2375 NEW SALEM HWY  
MURFREESBORO, TN 37128



REVISIONS

NO.	DATE	REVISION DESCRIPTION
1	10. 27. 2021	RESPONSE TO 1ST CITY COMMENTS
2	12. XX. 2021	RESPONSE TO 2ND CITY COMMENTS
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO.	2021110738
FILENAME	2021110738-EC2
CHECKED BY	NRW
DRAWN BY	RM8
SCALE	N/A
DATE	10. 14. 2021
SHEET	

EROSION CONTROL  
DETAILS

C6.01

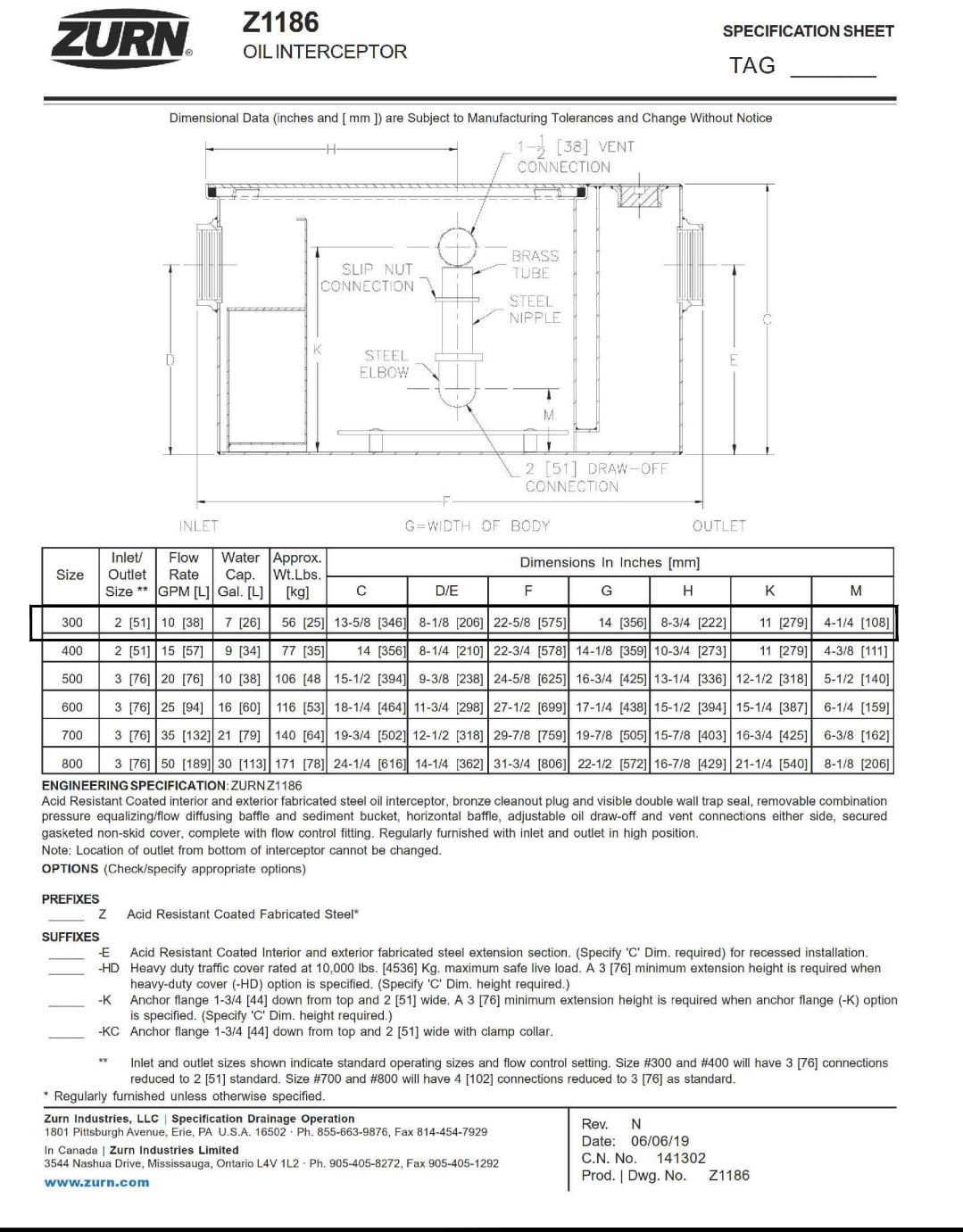
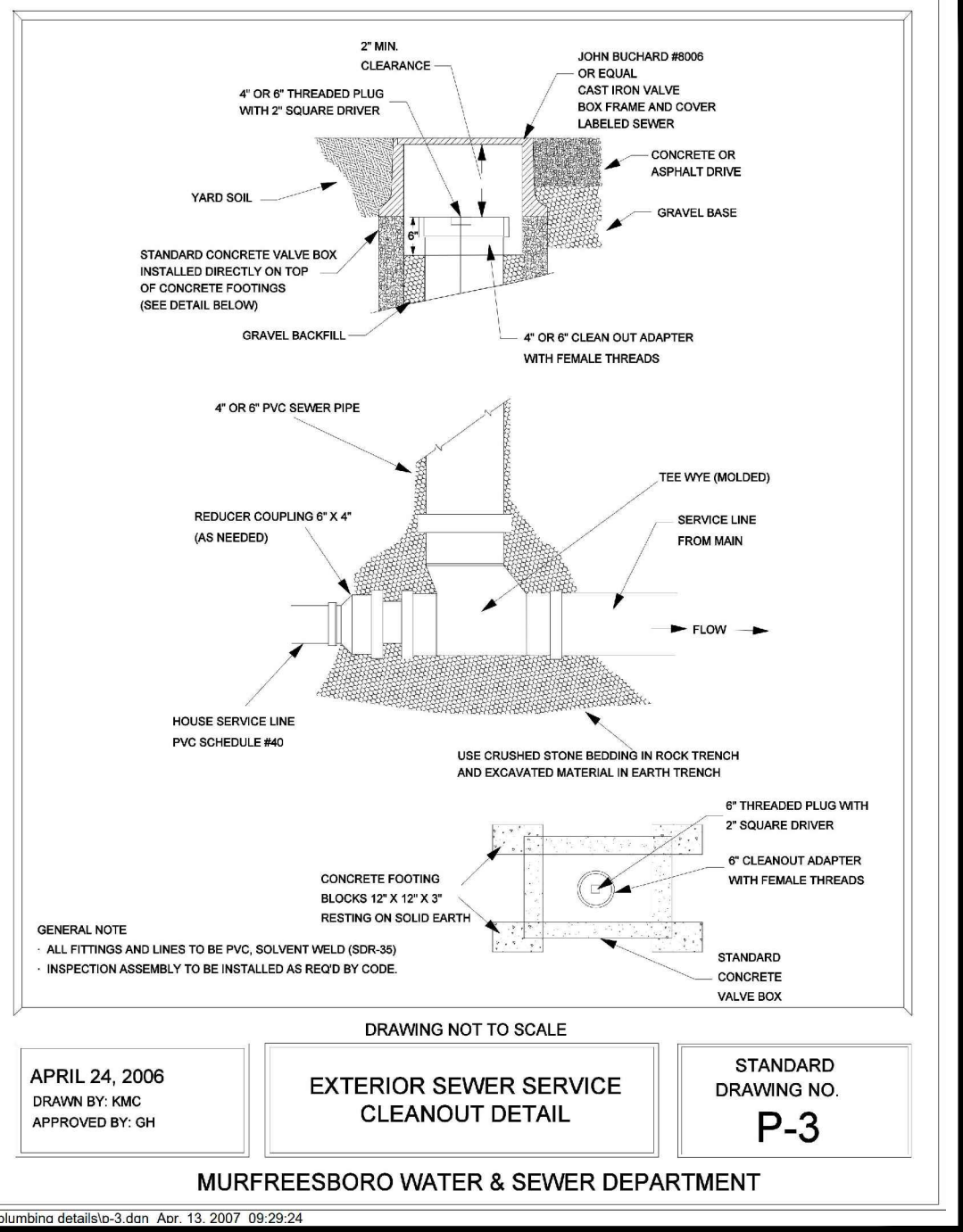
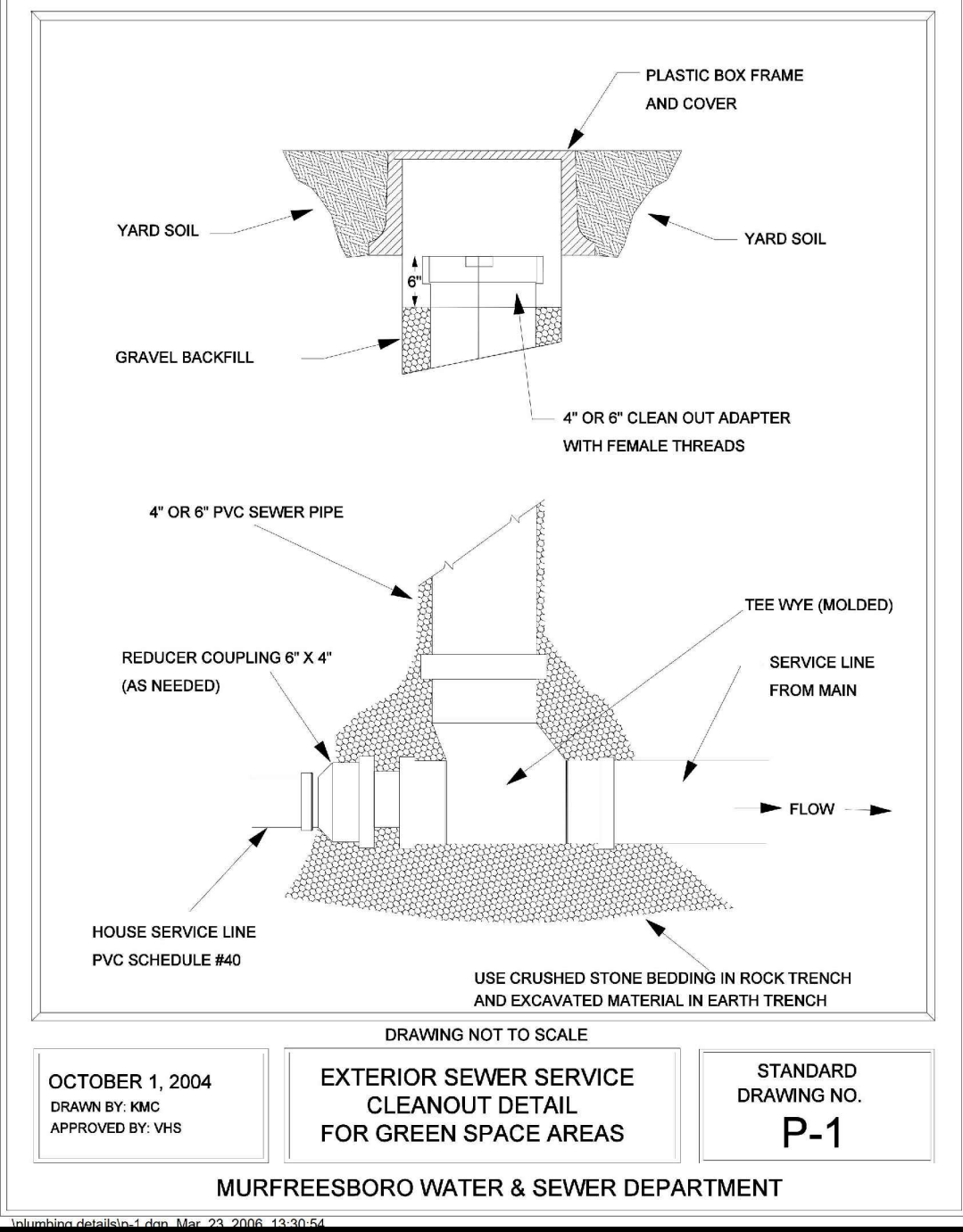
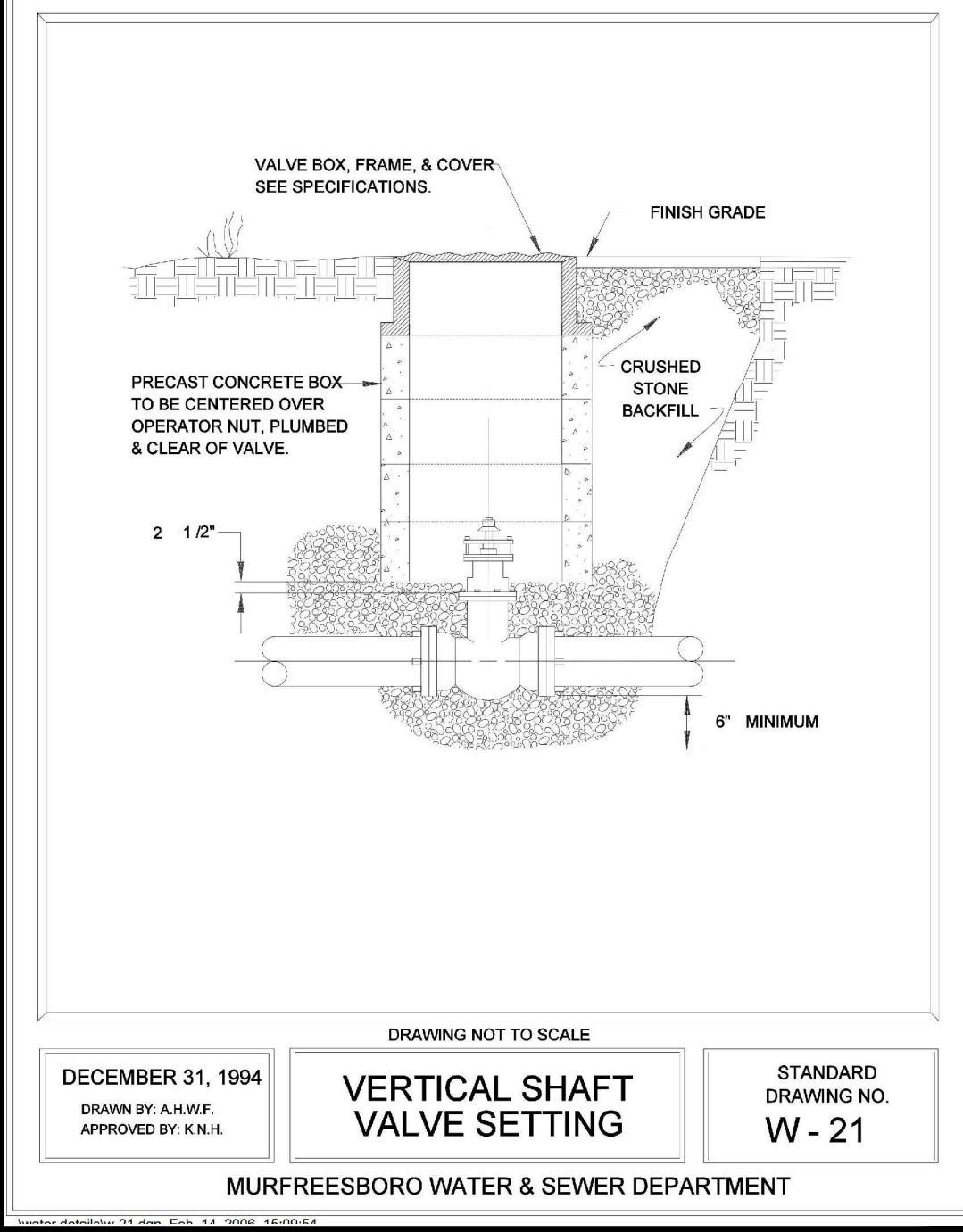
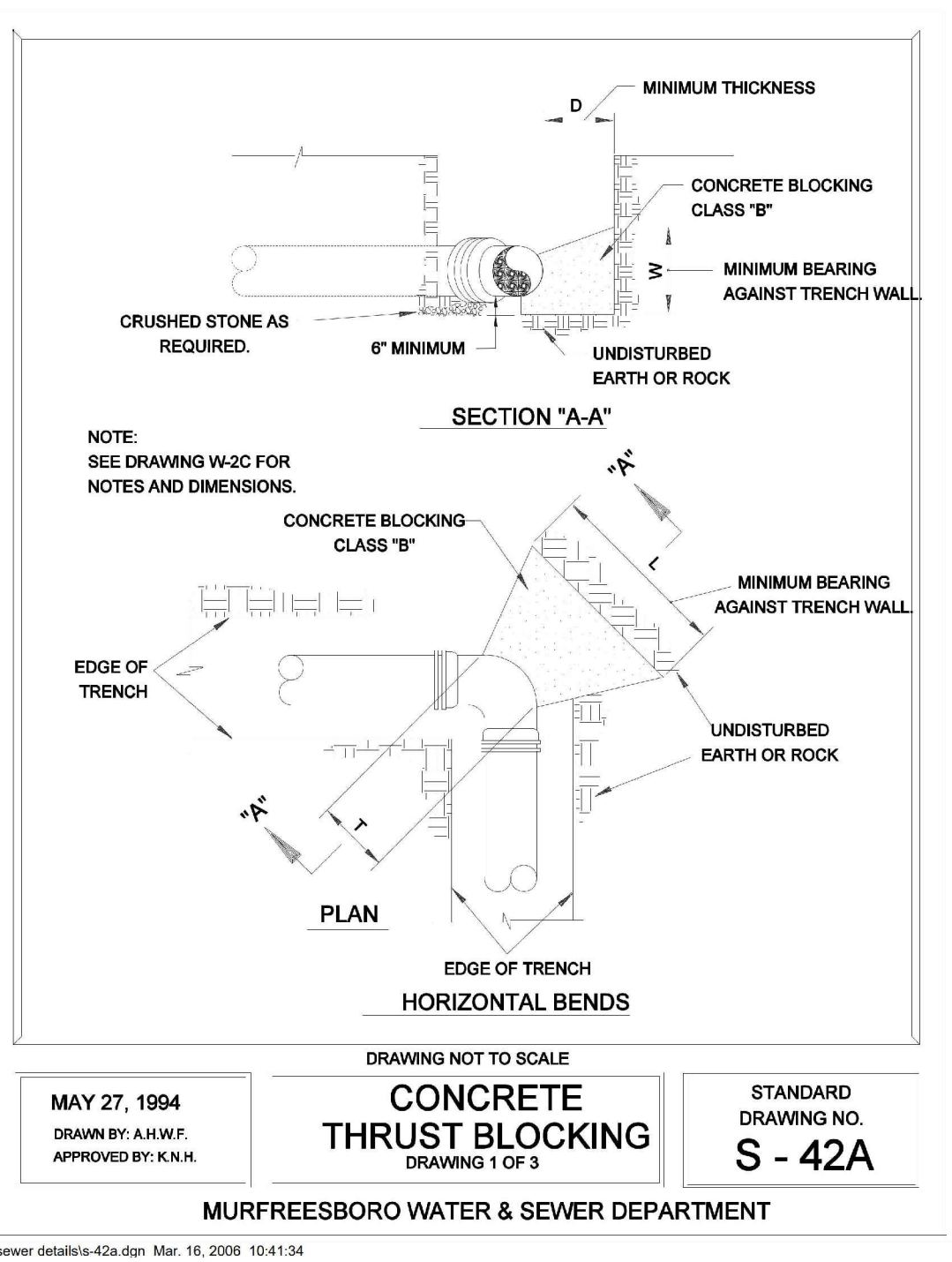
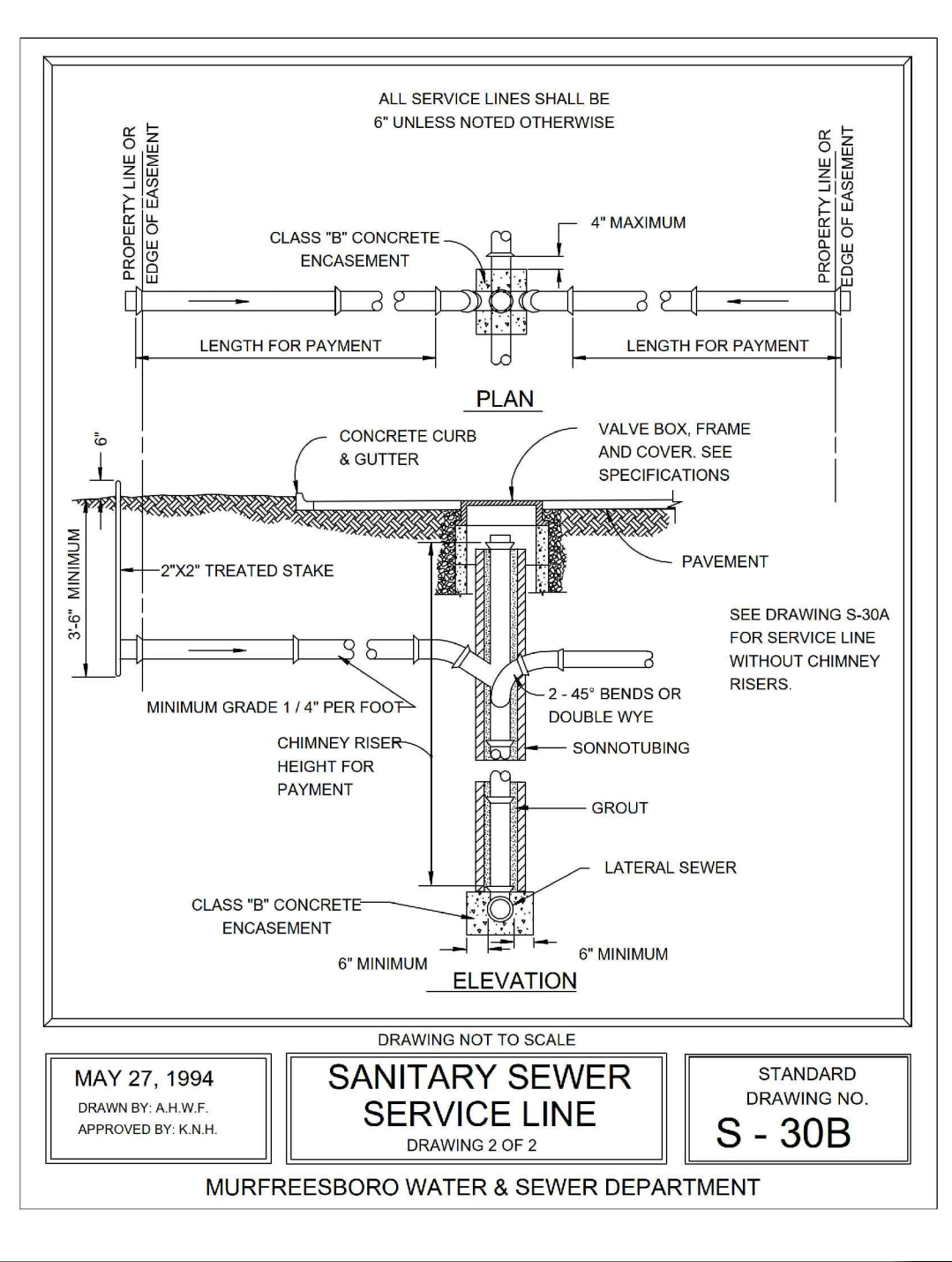
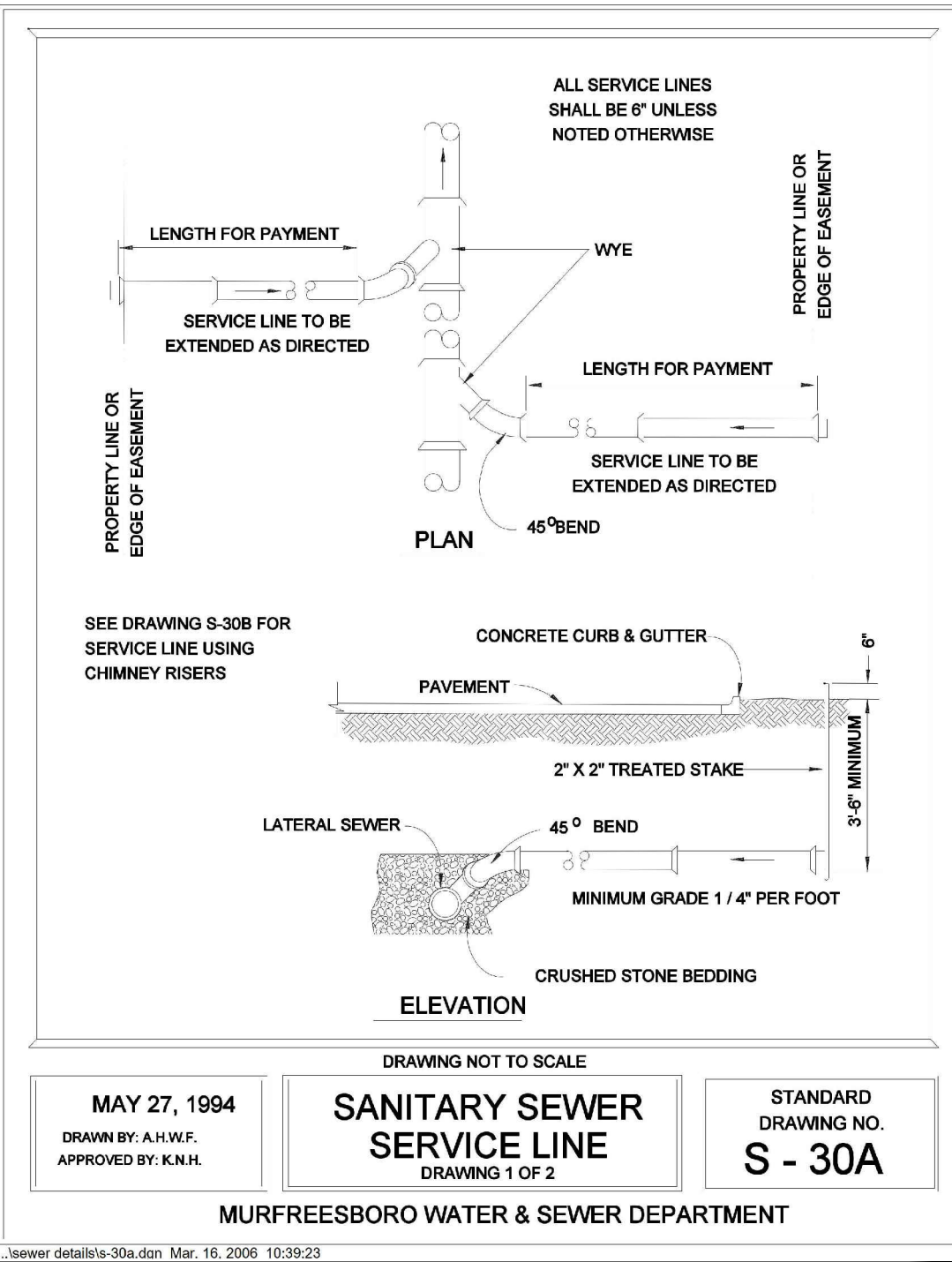
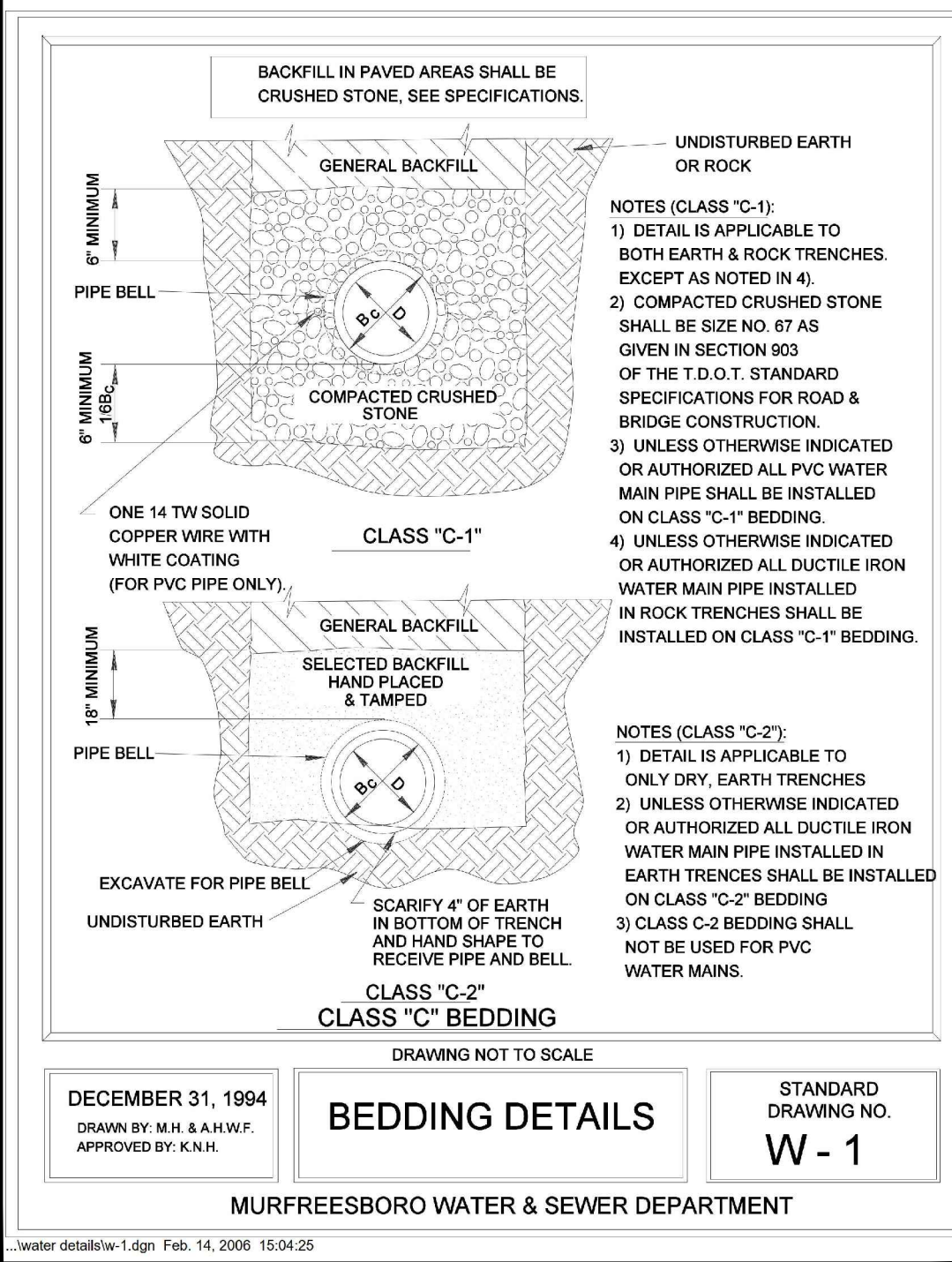
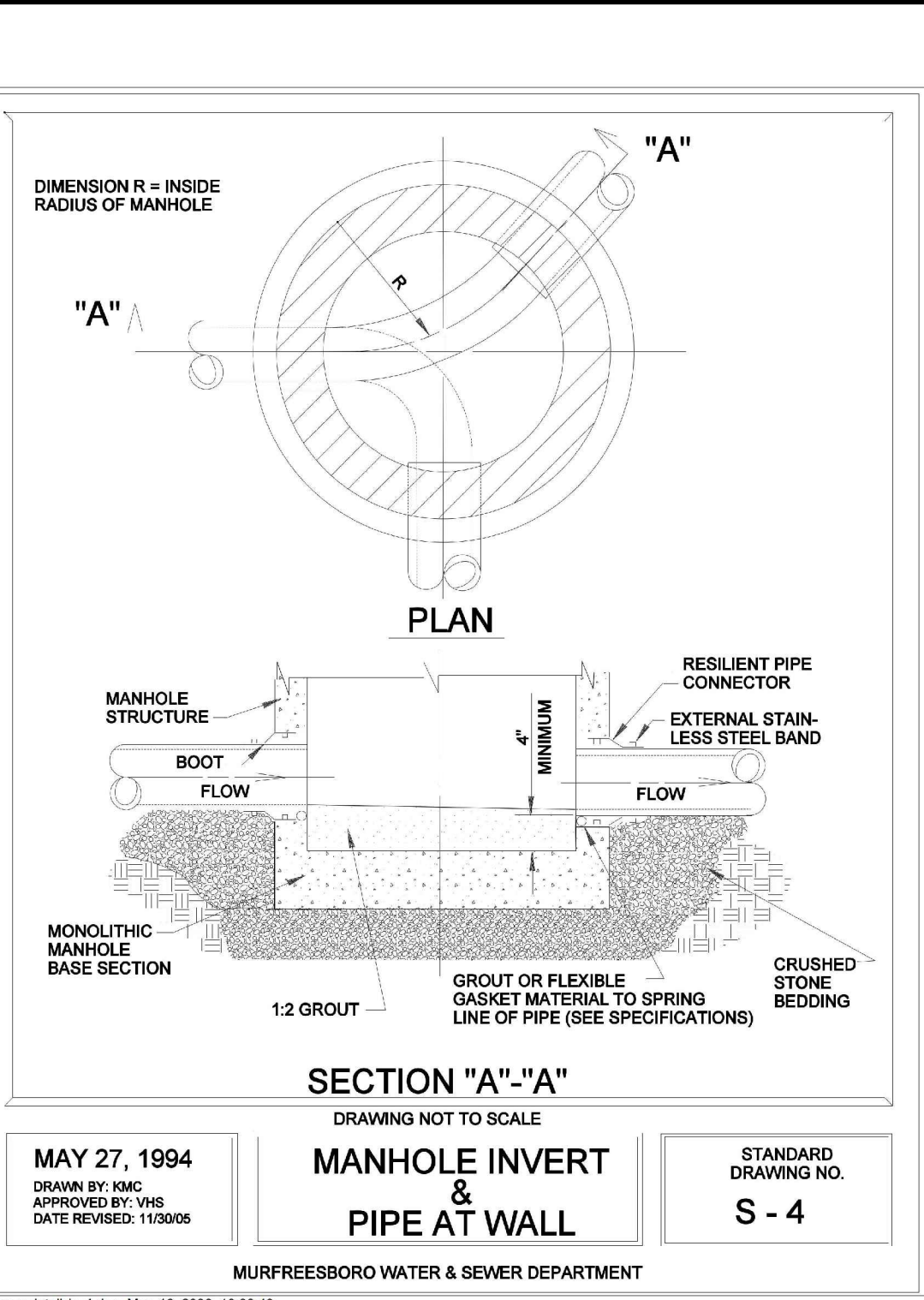
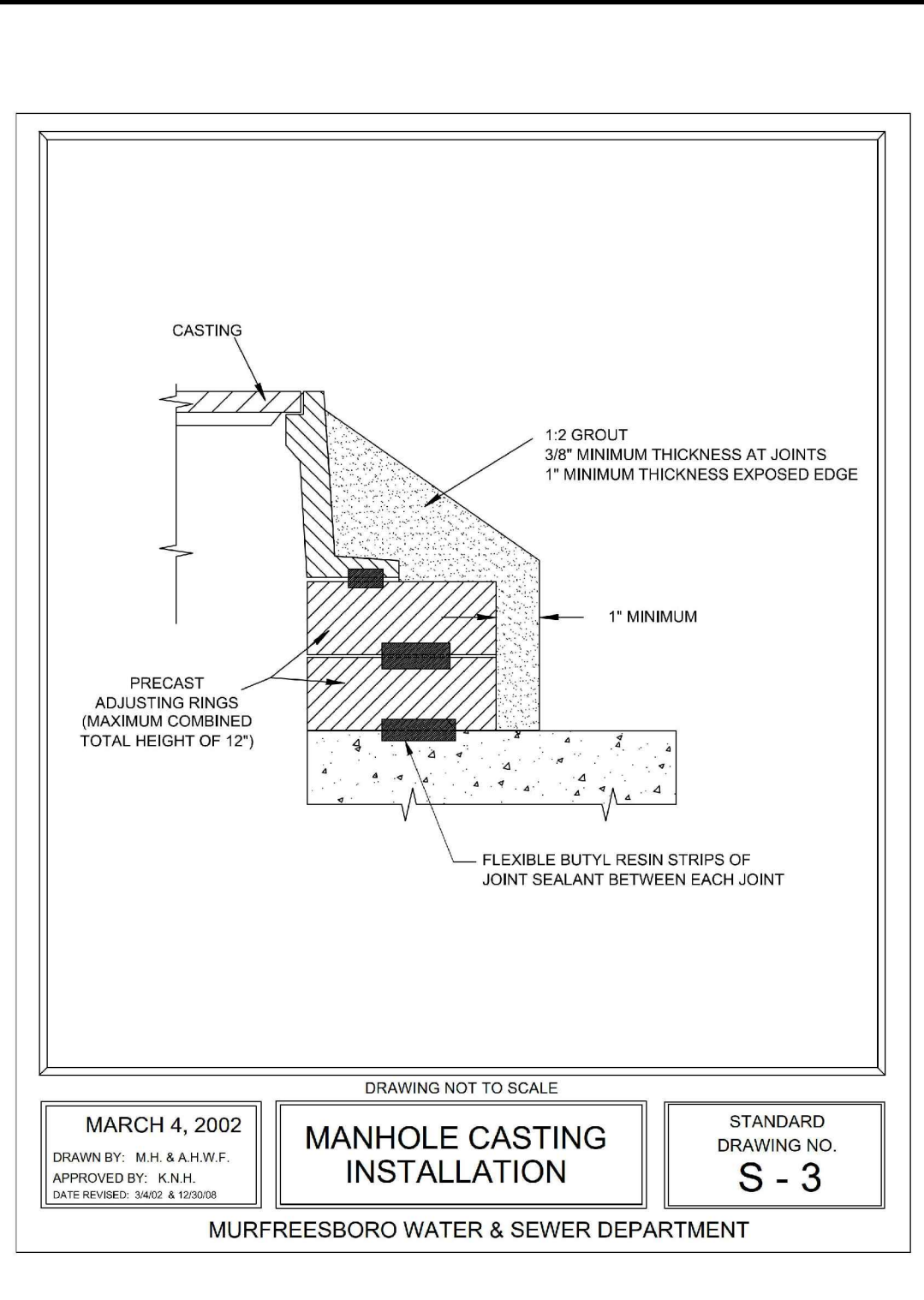
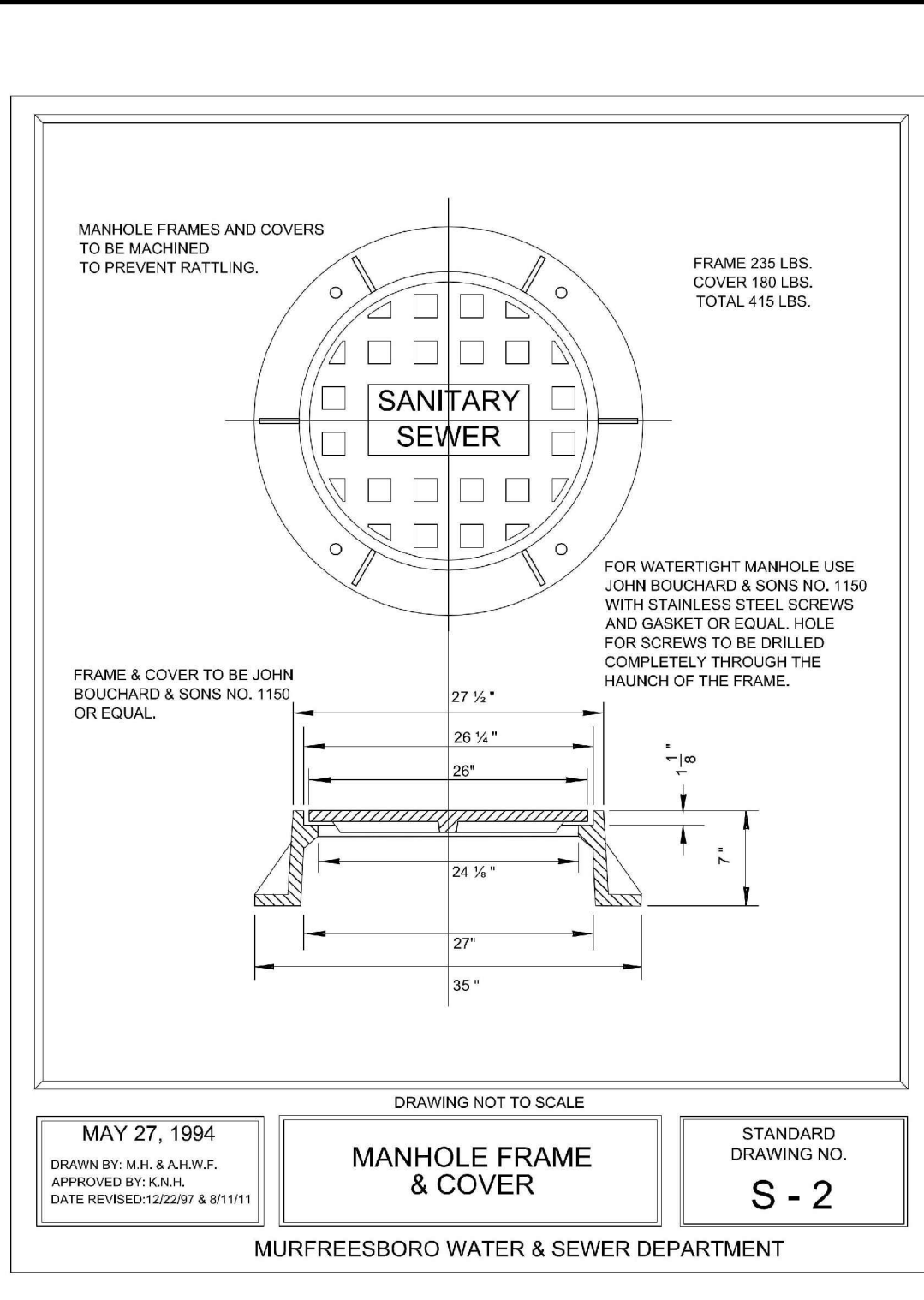
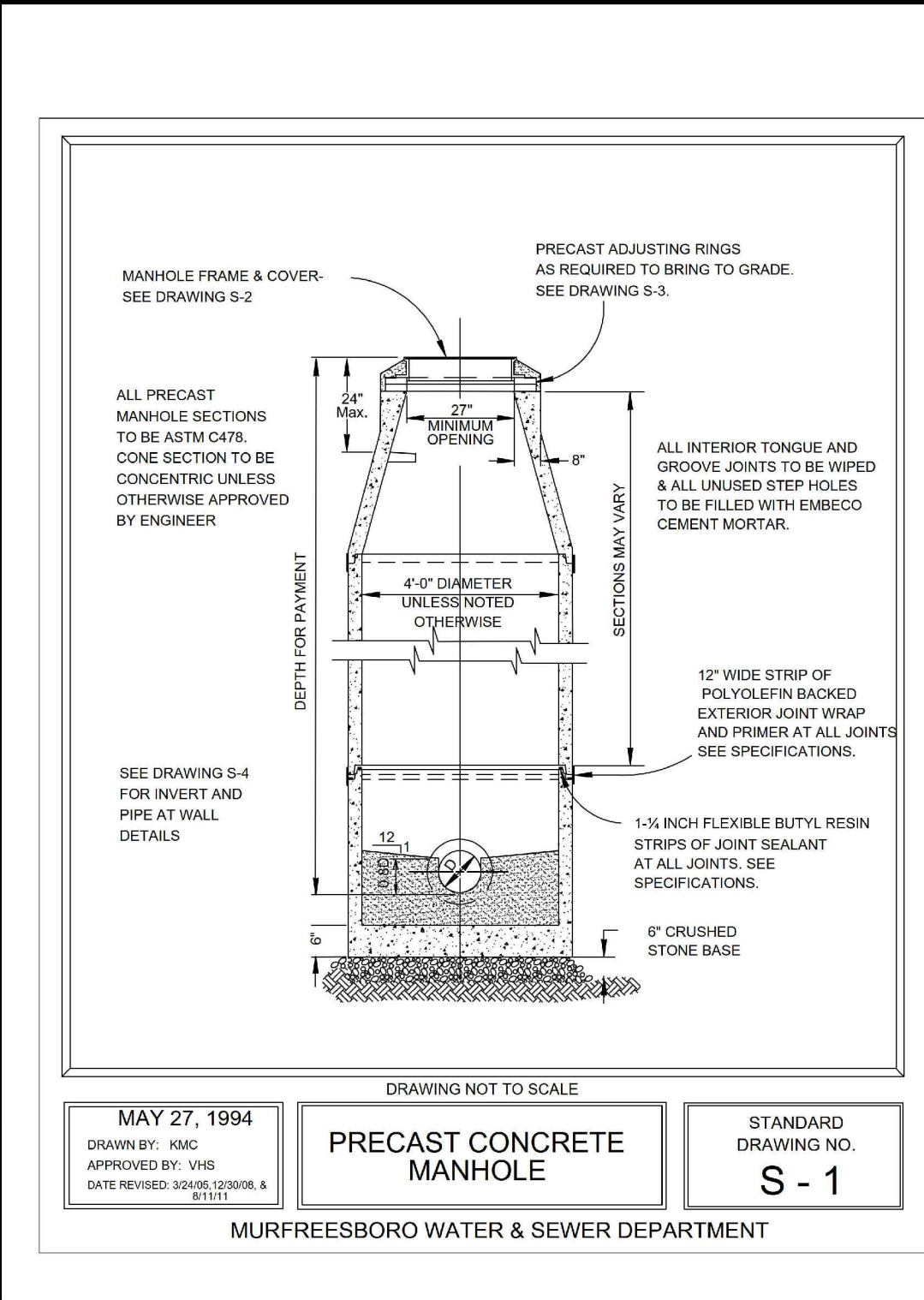






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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



## REVISIONS

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PLAN INFORMATION

PROJECT NO. 2021110738

FILENAME 2021110738-CS-6

CHECKED BY NRW

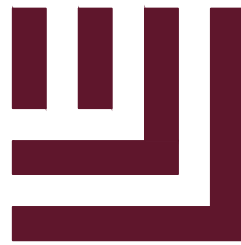
DRAWN BY RMB

SCALE N/A

DATE 10. 14. 2021

## UTILITY DETAILS

C8.01



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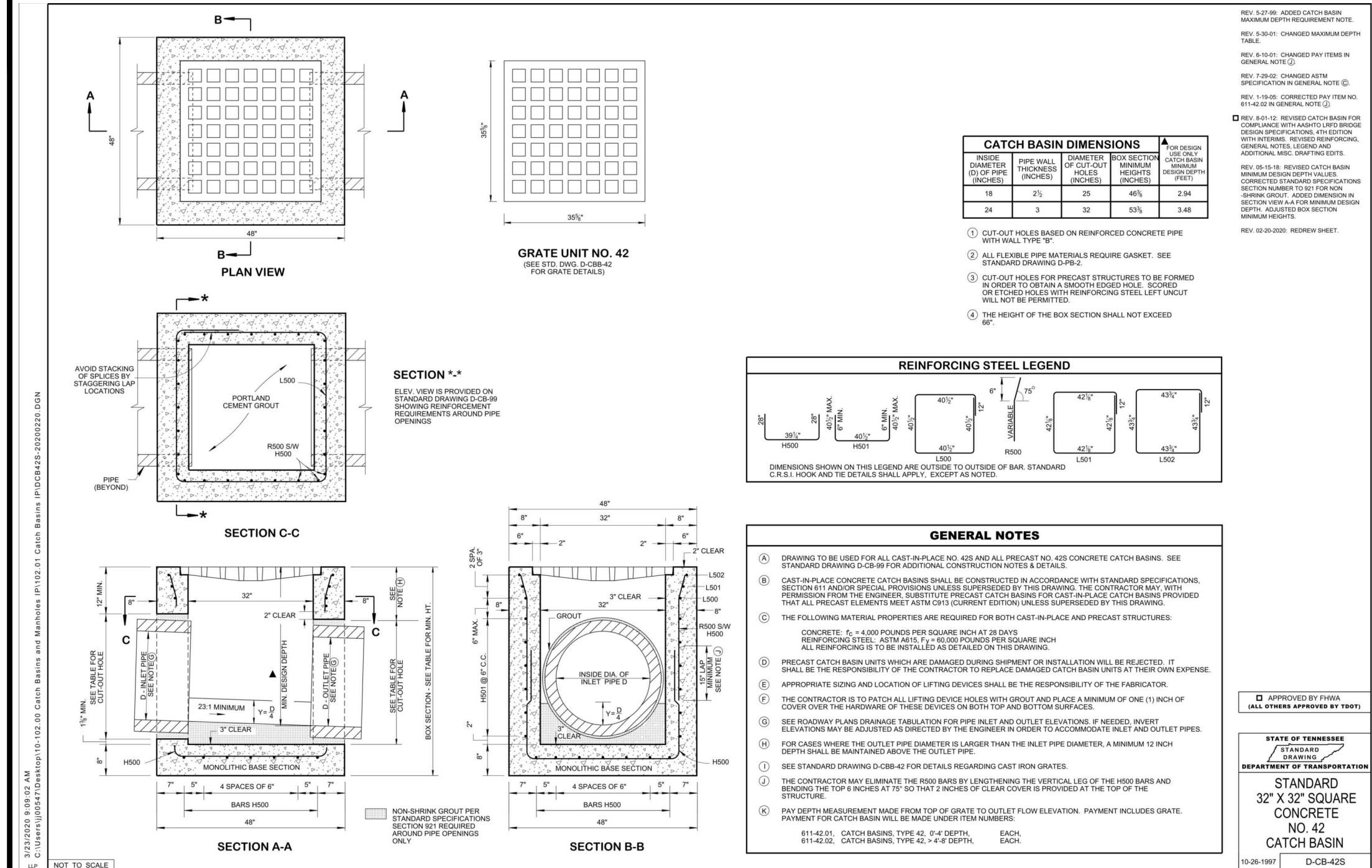
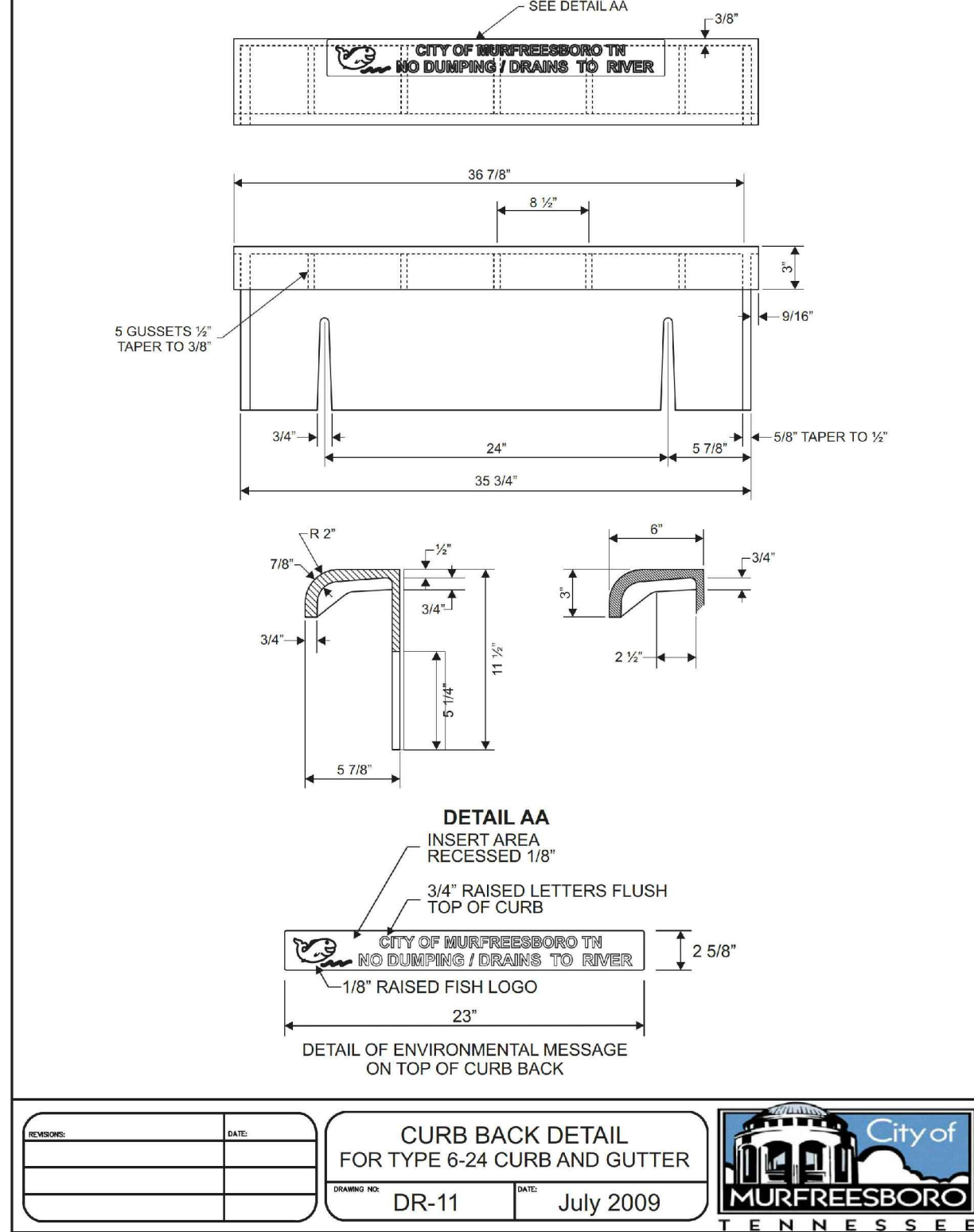
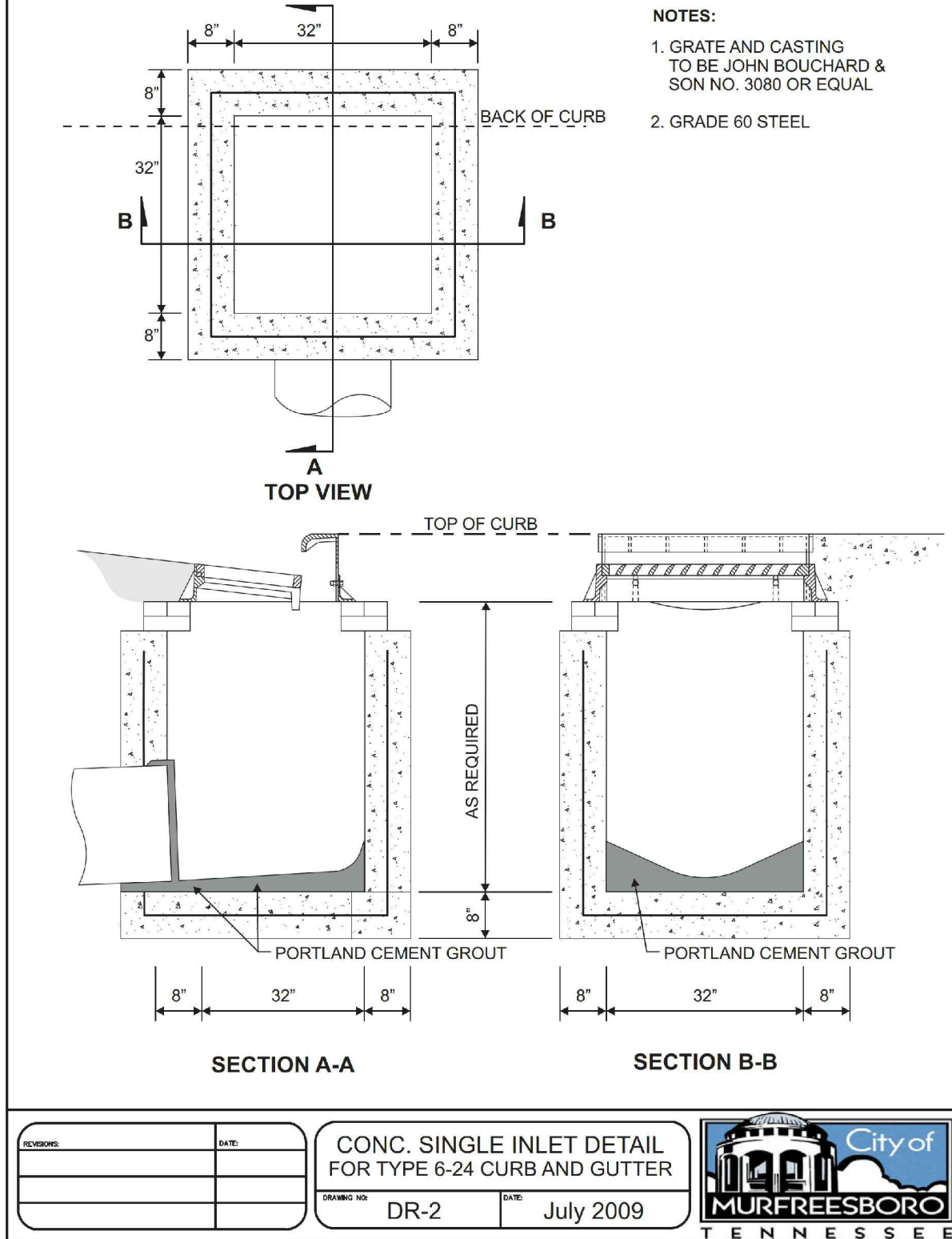
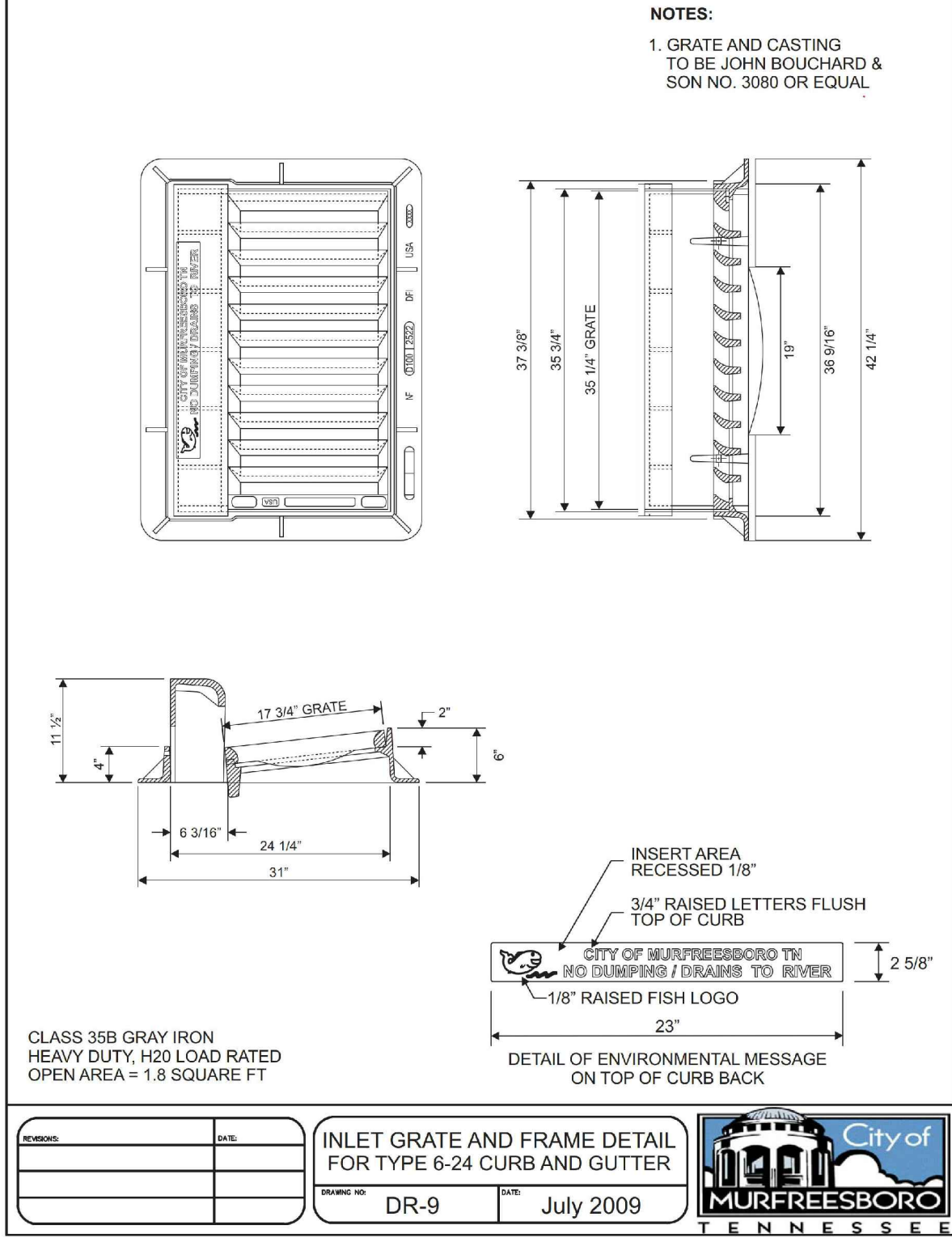
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PLAN INFORMATION		
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FILENAME	2021110738-CS+D	
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STORM DETAILS		
C8.02		