

**Project Title:** Fort Myers Residential  
**Location:** 2999 NE 191St Street, Aventura, FL 33180

**Project Type:**  
**Project Scope:** EVERYTHING  
**Date:** 6/12/2023

SR#	CSI SECTION	MATERIAL DESCRIPTION	QUANTITY	WASTAGE	QTY. WI WASTAGE	UNIT OF MEASUREMENT
DIV.09		FINISHING				
		<b>Wall</b>				
		<b>Wall Type-C1</b>				
158		(5/8" Thick) Gypsum Board	2420	10%	2662	SF
159		Sealant	922	10%	1014.2	LF
		<b>Wall Type-F</b>				
160		(2x4x4'-0" H) Wood Stud @16" OC	2176	0%	2176	EA
161		(2x4x10'-0" L) Top & Bottom Plate	868	0%	868	EA
162		(3/4" Thick) Plywood Sheathing	19789	10%	21767.9	SF
		<b>Wall Type- A1 (1hr Rated)</b>				
163		(2x6x12'-0" H) Wood Stud @16" OC	10514	0%	10514	EA
164		(2x6x10'-0" L) Top & Bottom Plate	4196	0%	4196	EA
165		(3/4" Thick) Plywood Sheathing	136208	10%	149828.8	SF
166		(5/8" Thick) Type "X" Gypsum Board	136208	10%	149828.8	SF
167		R-21 Insulation	136208	10%	149828.8	SF
168		Sealant	27966	10%	30762.6	LF
		<b>Wall Type-IW1 (1hr Rated)</b>				
169		(2x4x12'-0" H) Wood Stud @16" OC	9978	0%	9978	EA
170		(2x4x10'-0" L) Top & Bottom Plate	3984	0%	3984	EA
171		(5/8" Thick) Type "X" Gypsum Board	128846	10%	141730.6	SF
172		R-13 Insulation	119771	10%	131748.1	SF
173		Sealant	24438	10%	26881.8	LF

## ESTIMATE STATEMENT

Project Title: Fort Myers Residential

Location: 2999 NE 191st Street, Aventura, FL 33180

Project Type:

Project Scope: EVERYTHING

Date: 6/12/2023

SR#	CSI SECTION	MATERIAL DESCRIPTION	QUANTITY	WASTAGE	QTY. W/ WASTAGE	UNIT OF MEASUREMENT
167		R-21 Insulation	136208	10%	149828.8	SF
168		Sealant	27966	10%	30762.6	LF
		<b>Wall Type-IW1 (1hr Rated)</b>				
169		(2x4x12'-0" H) Wood Stud @16" OC	9978	0%	9978	EA
170		(2x4x10'-0" L) Top & Bottom Plate	3984	0%	3984	EA
171		(5/8" Thick) Type "X" Gypsum Board	128846	10%	141730.6	SF
172		R-13 Insulation	119771	10%	131748.1	SF
173		Sealant	24438	10%	26881.8	LF
		<b>Wall Type-IW2</b>				
174		(2x4x12'-0"H) Wood Stud @ 16" O.C.	3718	0%	3718	EA
175		(2x4x9'-0"H) Wood Stud @ 16" O.C.	14171	0%	14171	EA
176		(2x4x3'-0"H) Wood Stud @ 16" O.C.	1202	0%	1202	EA
177		(2x4x10'-0"L) Top & Bottom Plate	7630	0%	7630	EA
178		(5/8" Thick) Gypsum Wall Board	436901	10%	480591.1	SF
179		Sealant	101462	10%	111608.2	LF
		<b>Wall Type-IW2.1</b>				
180		(2x4x12'-0"H) Wood Stud @ 16" O.C.	840	0%	840	EA
181		(2x4x9'-0"H) Wood Stud @ 16" O.C.	2691	0%	2691	EA
182		(2x4x10'-0"L) Top & Bottom Plate	1415	0%	1415	EA
183		(5/8" Thick) Gypsum Wall Board	42308	10%	46538.8	SF
184		Sealant	9365	10%	10301.5	LF
		<b>Wall Type-IW2 (1hr Rated)</b>				
185		(2x6x12'-0" H) Wood Stud @16" OC	54	0%	54	EA
186		(2x6x10'-0" L) Top & Bottom Plate	22	0%	22	EA

## ESTIMATE STATEMENT

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Project Type:		
Project Scope:	EVERYTHING	
Date:	6/12/2023	

SR#	CSI SECTION	MATERIAL DESCRIPTION	QUANTITY	WASTAGE	QTY. W/ WASTAGE	UNIT OF MEASUREMENT
		<b>Parapet Wall</b>				
234		(4'-6" H) Cmu Parapet Wall	19.97	10%	21.967	LF
235		(4'-9" H) Cmu Parapet Wall	25.49	10%	28.039	LF
		<b>(3'-6" H) Parapet Wall</b>				
236		(2x6x4'-0" H) Wood Stud @16" OC	1206	0%	1206	EA
237		(2x6x10'-0" L) Top & Bottom Plate	1375	0%	1375	EA
238		(3/4" Thick) Plywood Sheathing	11227	10%	12349.7	SF
239		Felt Paper	11227	10%	12349.7	SF
		<b>(5-10" H) Parapet Wall</b>				
240		(2x6x6'-0" H) Wood Stud @16" OC	1315	0%	1315	EA
241		(2x6x10'-0" L) Top & Bottom Plate	900	0%	900	EA
242		(3/4" Thick) Plywood Sheathing	20392	10%	22431.2	SF
243		Felt Paper	20392	10%	22431.2	SF
		<b>Roof Wall</b>				
244		(2x6x22'-0" H) Wood Stud @16" OC	1166	0%	1166	EA
245		(2x6x10'-0" L) Top & Bottom Plate	219	0%	219	EA
246		(3/4" Thick) Plywood Sheathing	33075	10%	36382.5	SF
247		(5/8" Thick) Gypsum Board	15506	10%	17056.6	SF
248		Felt Paper	33075	10%	36382.5	SF
249		Sealant	3102	10%	3412.2	LF
		<b>Flooring</b>				
250		Luxury Tile Flooring	234639	10%	258102.9	SF
251		Luxury Tile Flooring @ Balcony	23882	10%	26270.2	SF
252		Ceramic Tile Flooring	39854	10%	43839.4	SF

## ESTIMATE STATEMENT

Project Title:	Fort Myers Residential	
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Project Type:		
Project Scope:	EVERYTHING	
Date:	6/12/2023	

SR#	CSI SECTION	MATERIAL DESCRIPTION	QUANTITY	WASTAGE	QTY. W/ WASTAGE	UNIT OF MEASUREMENT
		<b>Flooring</b>				
250		Luxury Tile Flooring	234639	10%	258102.9	SF
251		Luxury Tile Flooring @ Balcony	23882	10%	26270.2	SF
252		Ceramic Tile Flooring	39854	10%	43839.4	SF
253		Sealed Concrete Flooring	6532	10%	7185.2	SF
254		Carpet Flooring at Breezway,Lobby/Lounge etc.	11132.27	10%	12245.497	SF
255		Rubber Flooring & Gym	2008.71	10%	2209.581	SF
256		Tile Flooring at Stair	3073	10%	3380.3	SF
		<b>Base</b>				
257		(4" H) Tile Base	81330	10%	89463	LF
258		(4" H) Wood Base	9400	10%	10340	LF
259		(4" H) Rubber Flooring	151	10%	166.1	LF
		<b>Ceiling</b>				
260		(5/8" Thick) Gypsum Board Ceiling w/ Paint Finish	239650	10%	263615	SF
261		(5/8" Thick) Moisture Resistant Gypsum Board Ceiling w/ Paint Finish	38171	10%	41988.1	SF
262		(5/8" Thick) Type "X" Gypsum Board Ceiling w/ Paint Finish	2722	10%	2994.2	SF
		<b>Soffit</b>				
263		Vented Soffit	14153	10%	15568.3	SF
		<b>Wall Finish</b>				
264		(6'-0"H) Tile on Wall	23373	10%	25710.3	SF
265		Paint on Wall	1003422	10%	1103764.2	SF

## ESTIMATE STATEMENT

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Project Scope:	EVERYTHING				
Date:	6/12/2023				

SR#	CSI SECTION	MATERIAL DESCRIPTION	QUANTITY	WASTAGE	QTY. W/ WASTAGE	UNIT OF MEASUREMENT
DIV.07		THERMAL & MOISTURE PRO				
		Flat Roof				
97		Fully Adhered TPO Roof	95141	10%	104655.1	SF
98		Wrap Roof Membrane	95141	10%	104655.1	SF
99		(1/2" Thick) Plywood Sheathing	95141	10%	104655.1	SF
100		Tapered Insulation	95141	10%	104655.1	SF
		Pitched Roof				
101		Shingle Roof	34292	10%	37721.2	SF
102		(1/2" Thick) Plywood Sheathing	34292	10%	37721.2	SF
103		15 Mil. Vapor Barrior	34292	10%	37721.2	SF
104		R-20 Insulation	34292	10%	37721.2	SF
		Insulation				
105		Floor Truss Insulation (Aa Req'd_	387458	10%	426203.8	SF

<b>09 00 00 FINISHES</b>							
		<b>GYPSUM BOARD WALL</b>					
AF101			5/8" Thick Impact Resistant Gypsum Board	1008	10%	1109	SF
		<b>FLOORING</b>					
AF101			Epoxy Resin Floor, Cool Shale	108	10%	119	SF
AF101			Epoxy Resin Floor, White	145	10%	160	SF
AF101			Vinyl Rubber Threshold	13	10%	14	LF
		<b>CEILING</b>					
AF101			5/8" Thick Impact Resistant Gypsum Board Ceiling	253	10%	278	SF
AF101			1" Radius Curved Molding	84	10%	92	LF
AF101			Wall Spackling	84	10%	92	LF
		<b>PAINT</b>					
AF101			High Performance , 100% Solids Epoxy & Urethane Coating System on Ceiling	253	10%	278	SF
AF101			High Performance , 100% Solids Epoxy & Urethane Coating System on Walls	1008	10%	1109	SF
		<b>WALL FINISHES</b>					
AF101			1" Radius Cove Epoxy Resin Wall Base	79	10%	87	LF
AF101			16 Gauge 1" Radius Corner Guards	96	10%	106	LF





327 BELLO ROAD  
ALDEN, NY, 14004  
716-651-4000

DESIGN PROFESSIONAL

ANITA BANSAL  
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WARNING:  
ATTENTION TO THE FOLLOWING:  
THIS PLAN IS FOR THE OWNER'S USE ONLY. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.

DEBT OWNER:  
J.E. APARTMENTS  
155 MANAGEMENT  
275 HWY 51  
LAKE, LA 70008

PROJECT NO.: 21-011  
DATE: 10/02/2022  
DRAWN BY: KLS/BMEY  
CHKD BY: AB

ISSUED FOR:  
CONSTRUCTION

REVISIONS

PROJECT NO.: 21-011  
DATE: 10/02/2022  
DRAWN BY: KLS/BMEY  
CHKD BY: AB

ENLARGED CLUBHOUSE 1ST FLOOR PLANS

SHEET  
A510

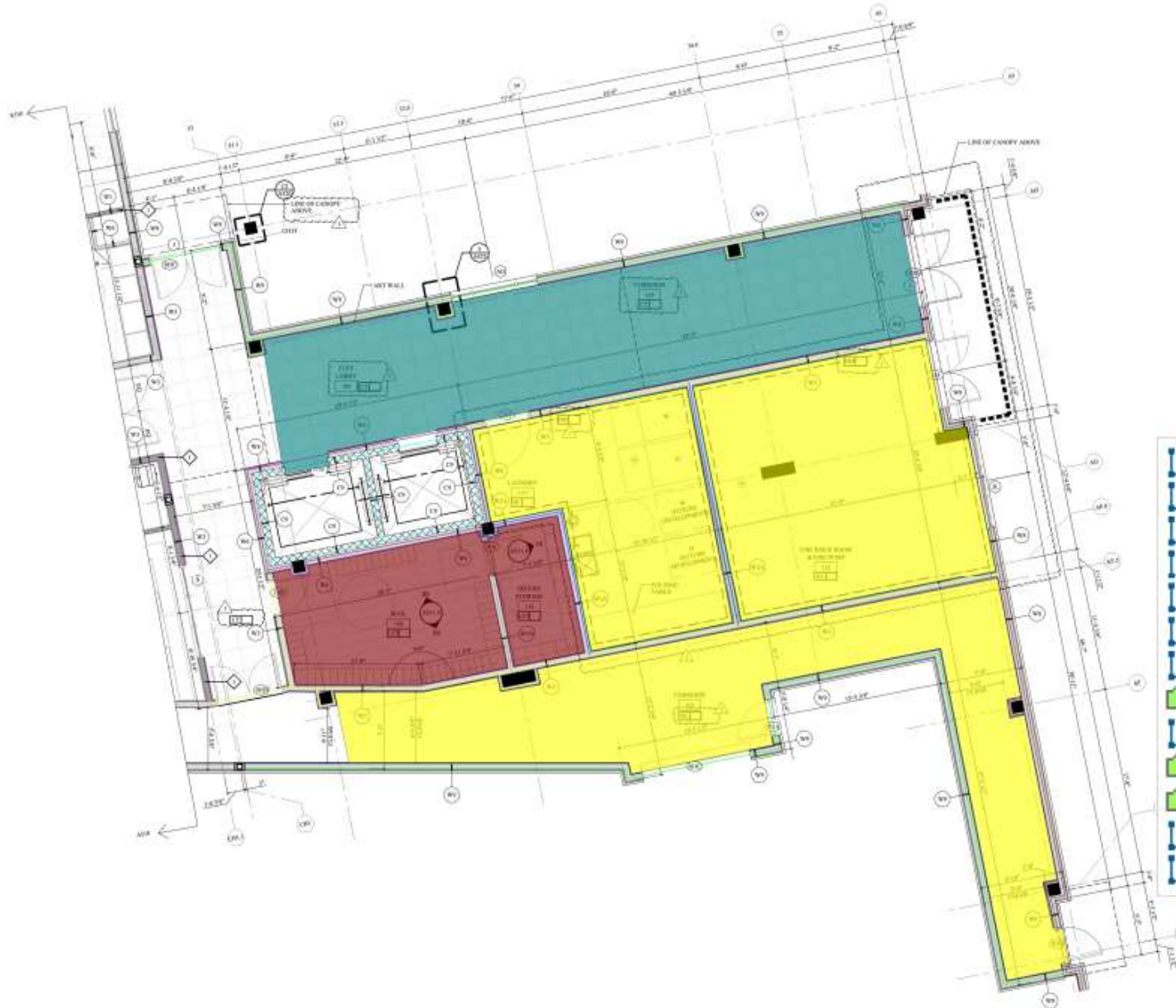
REVISIONS	GENERAL FLOOR PLAN NOTES
1. ALL DIMENSIONS ARE SHOWN UNLESS OTHERWISE NOTED.	1. ALL DIMENSIONS ARE SHOWN UNLESS OTHERWISE NOTED.
2. ALL MATERIALS ARE TO BE OF THE HIGHEST QUALITY AVAILABLE.	2. ALL MATERIALS ARE TO BE OF THE HIGHEST QUALITY AVAILABLE.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2020 INTERNATIONAL RESIDENTIAL CODE (IRC).	3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2020 INTERNATIONAL RESIDENTIAL CODE (IRC).
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS AT THE JOB SITE PRIOR TO BEGINNING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.	4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS AT THE JOB SITE PRIOR TO BEGINNING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.
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W9 (15'-4")	134.1 FT
W3 (10')	73.4 FT
Store Front Infill Wal...	19.4 FT
W1 (10')	119.0 FT
W2 (11'-6")	30.7 FT
W1A (11'-3")	27.7 FT
W6A (11'-6")	18.6 FT
W6 (11'-6")	16.2 FT
1	172.5 FT
W6 (8')	6.1 FT
C9	73.9 FT
CT	1,397.8 SQ FT
T	2,041.4 SQ FT
Stone Wall With Fo...	91.0 FT
SC	568.7 SQ FT
CPT	571.8 SQ FT
LVT	1,265.2 SQ FT
TB	111.0 FT
VB	177.7 FT
(6") WB	285.9 FT



01 ENLARGED CLUB HOUSE FIRST FLOOR ARCHITECTURAL & FINISH FLOOR PLAN  
1/4" = 1'-0"

IMPORTANT NOTES TO ALL CONSTRUCTORS AND SUBCONTRACTORS: COMPLETE BUILDING PERMITS AND OBTAIN ALL NECESSARY APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.



KEYNOTES	GENERAL FLOOR PLAN NOTES
<p>ALL IN WALL BLOCKING IS TO BE 16 GA. MINIMUM THICKNESS SHEET METAL. WHEN INSTALLED IN SHIRT SLEEVE CHANNELS, IN OTHER LOCATIONS, WOOD BLOCKING IS ALLOWED WHERE ACCEPTABLE BY BUILDING CODE. BLOCKING USED BEHIND AREAS OF HIGH HUMIDITY MUST BE GALVANNEZED. IN WALL BLOCKING, WHEN PORTAL LED IN CONNECTION WITH B-1 CHANNELS, MAY NOT BE SECURED TO FRAMING AND MUST BE SHEET METAL. FASTENING TO FRAMING WILL INCREASE THE STC RATING OF THE ASSEMBLY AND IS PROHIBITED. BLOCKING IS TYPICALLY INDICATED FOR MOUNTING OF ELECTRICAL ITEMS WITHIN THE ROOM. HOWEVER, ALL WALL AND CEILING MOUNTED ITEMS MUST HAVE BLOCKING (UNLESS OBJECTS MOUNTED TO CONCRETE MATERIALS). THESE ITEMS INCLUDE, BUT NOT LIMITED TO THE FOLLOWING: WINDOW TREATMENTS, HEADBOARDS AND WALL MOUNTED SHELVE, SHELVES, JOURNAL BOARD BRACKET, SHOWER CLOSET ROD AND SHELVE, SHOWER ROD, TOWEL BAR, GRAB BARS. THE DESIGNER/ARCHITECT IS RESPONSIBLE FOR COORDINATING BLOCKING SIZE AND LOCATION.</p>	<p>1. ALL DIMENSIONS ARE SHOWN TO FACE OF STUDY UNLESS OTHERWISE NOTED.</p> <p>2. GREAT RATHERED AREAS INDICATED FUTURE THREAT SPECIFICALLY WILL BE DETERMINED AND REPORTED SEPARATELY.</p> <p>3. ALL WORK SHALL CONFORM TO THE ROOM REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC).</p> <p>4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE WITH THE ARCHITECT PRIOR TO BEGINNING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>5. DIMENSIONS ON COMPLETE BETWEEN VARIOUS ELEMENTS OF THE BUILDING, ROOMS, CORRIDORS, AND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND SHALL BE CORRECTED PRIOR TO THE WORK.</p> <p>6. DIMENSIONS ON COMPLETE BETWEEN VARIOUS ELEMENTS OF THE BUILDING, ROOMS, CORRIDORS, AND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND SHALL BE CORRECTED PRIOR TO THE WORK.</p> <p>7. DIMENSIONS ON COMPLETE BETWEEN VARIOUS ELEMENTS OF THE BUILDING, ROOMS, CORRIDORS, AND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND SHALL BE CORRECTED PRIOR TO THE WORK.</p> <p>8. ALL DIMENSIONS TO FACE OF STUDY UNLESS OTHERWISE NOTED.</p> <p>9. EXTERIOR GRADING ALIGNMENT IS ON FACE OF EXTERIOR GRADELINE ONLY &amp; CONCRETE.</p> <p>10. EXTERIOR GRADING ALIGNMENT IS ON FACE OF EXTERIOR GRADELINE ONLY &amp; CONCRETE.</p> <p>11. EXTERIOR DOORS TO BE 1/2" OF 1" FROM ADJACENT WALLS AND GRADELINE ONLY.</p> <p>12. EXTERIOR WALL BRACKET CONTROL: DOORS TO BE 1/2" OF 1" FROM ADJACENT WALLS AND GRADELINE ONLY.</p> <p>13. WALL CONSTRUCTION SHOWN FOR REFERENCE ONLY. DIMENSIONS OF ROOMS SHALL BE DETERMINED BY THE ARCHITECT AND SHALL BE CORRECTED PRIOR TO THE WORK.</p>

FINISH LEGEND	ARCHITECTURAL LEGEND
<p>CT CERAMIC TILE</p> <p>LVT LUXURY VINYL TILE</p> <p>OP CARPET TILE</p> <p>T TILE</p> <p>NO SCALED CONCRETE</p> <p>PVB PAVED WITH PORCELAIN</p>	<p>DOOR TAG</p> <p>WALL TAG</p> <p>WINDOW TAG</p>

W9 (15'-4")	197.6 FT
W3 (10')	137.2 FT
W6 (11'-6")	61.7 FT
W2A	45.3 FT
C9	63.5 FT
W1A (11'-3")	12.5 FT
W8 (15'-4")	87.7 FT
CT	668.0 SQ FT
FRP	175.7 FT
SC	1,502.6 SQ FT
LVT	319.2 SQ FT
(6") WB	242.9 FT
VB	372.4 FT

327 HELL ROAD  
ALLEN, NY 14704  
716-431-8080

DESIGN PROFESSIONAL

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FIRM: MWT  
FIRM ADDRESS: 327 HELL ROAD, ALLEN, NY 14704  
FIRM PHONE: 716-431-8080  
FIRM FAX: 716-431-8081

PROJECT OWNER  
Q HOTELS MANAGEMENT  
409 HWY 31  
LA PLACE, LA 70066

METATRIE APARTMENTS

108 LAKE VILLA DR  
METATRIE, LA 70062

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	FOR CONSTRUCTION	08/05/2022	KLBM

ISSUED FOR:  
CONSTRUCTION

PROJECT NO.: 21-001  
DATE: 08/05/2022  
DRAWN BY: KLBM  
CHKD BY: AB

ENLARGED  
CLUBHOUSE 1ST  
FLOOR PLANS

SHEET  
A510.1

01 ENLARGED CLUB HOUSE FIRST FLOOR ARCHITECTURAL & FINISH FLOOR PLAN  
1/2" = 1'-0"

IMPORTANT NOTES TO ALL CONSTRUCTORS AND SUBCONTRACTORS: COMPLETE BUILDING SYSTEMS AND MATERIALS.

1. ALL DIMENSIONS ARE SHOWN TO FACE OF STUDY UNLESS OTHERWISE NOTED.

2. GREAT RATHERED AREAS INDICATED FUTURE THREAT SPECIFICALLY WILL BE DETERMINED AND REPORTED SEPARATELY.

3. ALL WORK SHALL CONFORM TO THE ROOM REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC).

4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE WITH THE ARCHITECT PRIOR TO BEGINNING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.

5. DIMENSIONS ON COMPLETE BETWEEN VARIOUS ELEMENTS OF THE BUILDING, ROOMS, CORRIDORS, AND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND SHALL BE CORRECTED PRIOR TO THE WORK.

6. DIMENSIONS ON COMPLETE BETWEEN VARIOUS ELEMENTS OF THE BUILDING, ROOMS, CORRIDORS, AND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND SHALL BE CORRECTED PRIOR TO THE WORK.

7. DIMENSIONS ON COMPLETE BETWEEN VARIOUS ELEMENTS OF THE BUILDING, ROOMS, CORRIDORS, AND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND SHALL BE CORRECTED PRIOR TO THE WORK.

8. ALL DIMENSIONS TO FACE OF STUDY UNLESS OTHERWISE NOTED.

9. EXTERIOR GRADING ALIGNMENT IS ON FACE OF EXTERIOR GRADELINE ONLY & CONCRETE.

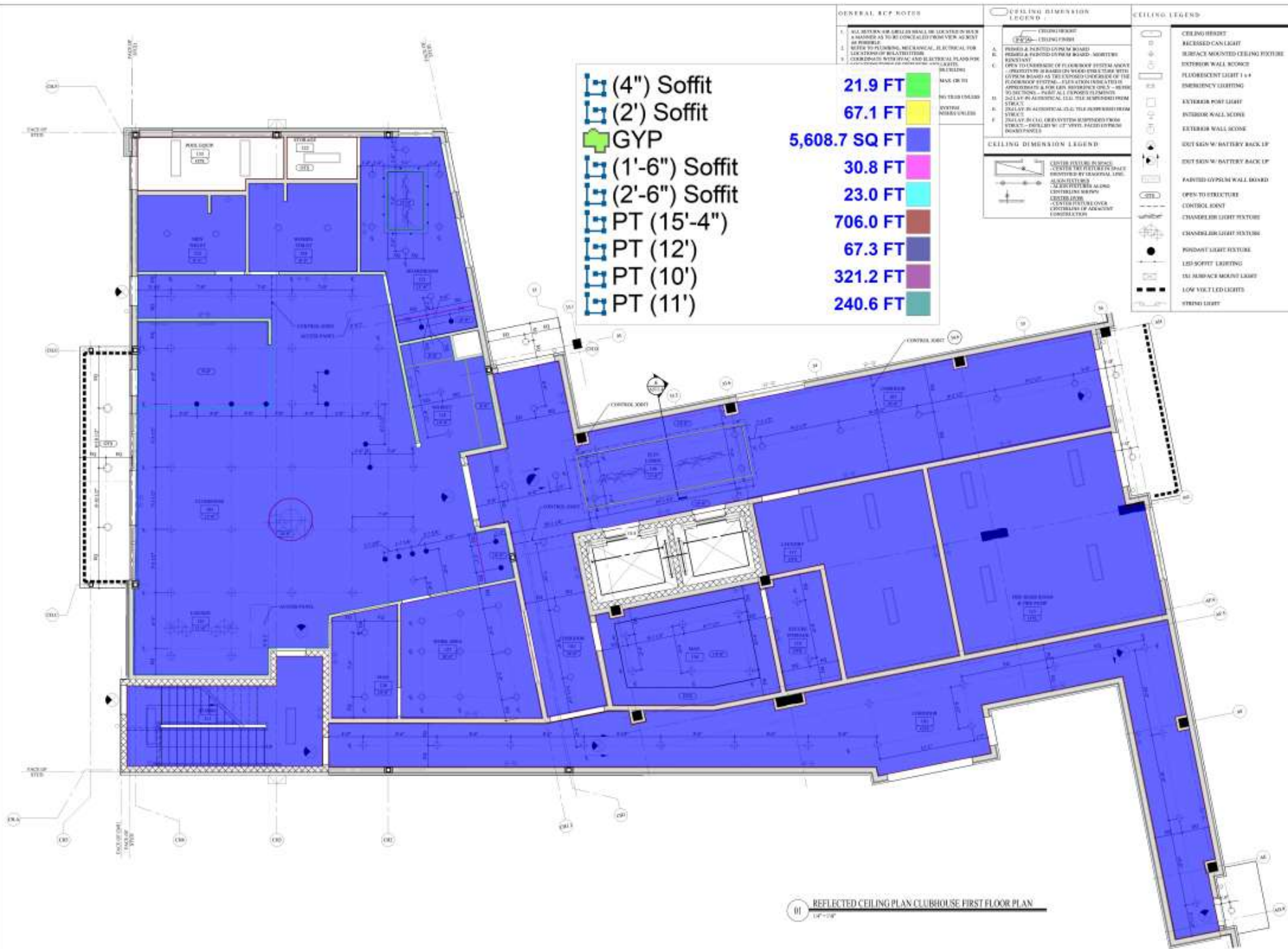
10. EXTERIOR GRADING ALIGNMENT IS ON FACE OF EXTERIOR GRADELINE ONLY & CONCRETE.

11. EXTERIOR DOORS TO BE 1/2" OF 1" FROM ADJACENT WALLS AND GRADELINE ONLY.

12. EXTERIOR WALL BRACKET CONTROL: DOORS TO BE 1/2" OF 1" FROM ADJACENT WALLS AND GRADELINE ONLY.

13. WALL CONSTRUCTION SHOWN FOR REFERENCE ONLY. DIMENSIONS OF ROOMS SHALL BE DETERMINED BY THE ARCHITECT AND SHALL BE CORRECTED PRIOR TO THE WORK.





387 BELLO ROAD  
ALDEN, NY 14004  
716-617-6091

DESIGN PROFESSIONAL

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23 RANSK CIRCLE  
WILLIAMSVILLE, NY 14221  
anitamwtdesign@gmail.com

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FOR MORE INFORMATION  
CONTACT MWT AT  
4074 HWY 31  
LA PLACE, LA 70068

**METAIRIE APARTMENTS**

1100 LAKE VILLA DR  
METAIRIE, LA 70060

**REVISIONS**

NO.	DESCRIPTION	DATE	BY
1	FOR CONSTRUCTION	09/03/2022	KL

**ISSUED FOR: CONSTRUCTION**

**PROJECT NO. 21-001**  
**DATE: 09/03/2022**  
**DRAWN BY: KL**  
**CHKD BY: AB**

**ENLARGED CLUBHOUSE 1ST FLOOR REFLECTED CEILING PLAN**

**SHEET A510.2**



3027 HILLO ROAD  
ALDEN, NY 14004  
716-631-6690

DESIGN PROFESSIONAL

ANITA BANSAL  
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22 RANA COURT  
WILLIAMSVILLE, NY 14221  
www.anitabansal.com



WARNING:  
THIS PLAN IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGN PROFESSIONAL. ANY REVISIONS TO A SET OF ARCHITECTURAL PLANS SHALL BE MADE BY THE DESIGN PROFESSIONAL.

REVISIONS  
CHANGES  
000-55-000

PROJECT OWNER  
QHOTELS MANAGEMENT  
4254 HWY 51  
LA PLACE, LA 70068

METAIRIE APARTMENTS

3108 LAKE VILLA DR  
METAIRIE, LA 70002

REVISIONS		
NO.	DESCRIPTION	DATE BY
1	FOR CONSTRUCTION	00/00/00

ISSUED FOR:  
CONSTRUCTION

PROJECT NO.: 21-001  
DATE: 08/05/2022  
DRAWN BY: KL/BB/RY  
CHECK BY: AB

ENLARGED  
CLUBHOUSE 2ND  
FLOOR PLANS AND  
RCP

SHEET  
A511

# GENERAL FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE GIVEN TO FACE UNLESS OTHERWISE NOTED.
2. FIRST FLOOR AREAS DESIGNATED FOR FUTURE REMOVAL ARE SHOWN WITH DASHED LINES AND IDENTIFIED IN PARAGRAPHS.
3. ALL WORK SHALL CONFORM TO THE 2020 EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC).
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS AT THE JOB SITE PRIOR TO BEGINNING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.
5. CLASHES OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE THE PROCEEDING WITH THE WORK.
6. DO NOT USE SCALED DIMENSIONS. USE WRITTEN DIMENSIONS OR REFER TO DIMENSIONS IN PROVIDED DETAILS. THE ARCHITECT'S DESIGN PRECEDENCE SHALL PREVAIL.
7. REPAIR AND VERIFY THE SIZE AND LOCATION OF ALL EXISTING DOORS, WINDOWS, CLOSET DOORS, AND PARTITION WALLS. MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) CONTRACTOR'S WORK.
8. ALL DETAILS SHOWN ARE EITHER SPECIFICALLY REFERENCED OR NOT.
9. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
10. EXTERIOR FINISHES AT EXTERIOR WALLS AND CEILING SHALL BE IN ACCORDANCE WITH THE ARCHITECT'S DESIGN PRECEDENCE.
11. EXTERIOR GREENUP ALIGNMENT IS ON CENTERLINE OF PERIMETER WALL UNLESS OTHERWISE NOTED.
12. EXTERIOR DOORS TO BE 36" WIDE, 8' HIGH, 2" MINIMUM GLASS, AND 1" MINIMUM GLASS.
13. EXTERIOR WALL BOARDING SHALL BE TO BE 1/2" THICK, 4' HIGH, AND 4' WIDE. BOARDING SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S DESIGN PRECEDENCE.
14. WALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ARCHITECT'S DESIGN PRECEDENCE.

## KEYNOTES

- ALL IN WALL BLOCKING IS TO BE 2" MINIMUM THICKNESS SHEET METAL WHEN INSTALLED ON SAME SIDE AS RE-CHANNELS. IN OTHER LOCATIONS, BLOCKING IS ALLOWED WHERE ACCEPTABLE BY BUILDING CODE. BLOCKING USED IN AREAS OF HIGH SEISMICITY MUST BE GALVANNEED/TREATED. IN WALL BLOCKING, WHEN INSTALLED IN CONCRETE WITH RE-CHANNELS, MAY NOT BE SECURED TO FRAMING AND MUST BE SHEET METAL. FASTENING TO FRAMING WILL INCREASE THE STIFFNESS OF THE ASSEMBLY AND IS PROHIBITED. BLOCKING IS TYPICALLY INDICATED FOR MAXIMIZING OF ELECTRICAL ITEMS WITHIN THE ROOM. HOWEVER, ALL WALL AND CEILING MOUNTED ITEMS MUST HAVE BLOCKING (UNLESS DIRECTLY MOUNTED TO CONCRETE MATERIALS). THESE ITEMS INCLUDE, BUT NOT LIMITED TO THE FOLLOWING: WINDOW TREATMENTS, HEADLIGHTS, AND WALL MOUNTED SELL WORK, SELL VES, BROWNS, BOARD REACTIV, MEMBERS, CLOSET ROOF, AND SHELVES, SHOWER ROOF, TOWELS, BARS, GRAB BARS. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR COORDINATING BLOCKING SIZE AND LOCATION.

## FINISH LEGEND

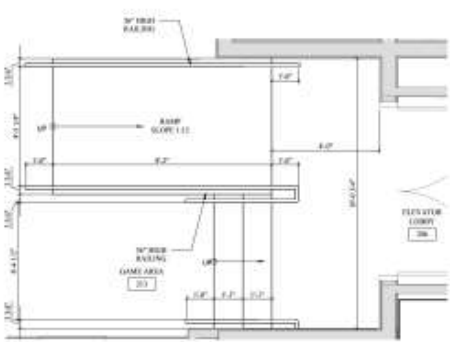
- CT CERAMIC TILE
- DFT LUXURY VINYL TILE
- CPY CARPET TILE
- T TILE
- MC MAINTENANCE
- PVB PAVEMENT

## ARCHITECTURAL LEGEND

- XX DOOR TAG
- W WALL TAG
- W WINDOW TAG



W3 (12'-8") HR Fire Rated Wall	173.8 FT
W1 (8'-8")	129.0 FT
W2 (8'-8")	33.7 FT
Store Front InFill Wall (5')	60.3 FT
W1A (8')	9.3 FT
W6 (12'-8")	34.9 FT
C9 (15'-8")	67.2 FT
LVT	2,205.7 SQ FT
CPT	395.5 SQ FT
SC	214.6 SQ FT
T	160.6 SQ FT
CT	119.3 SQ FT
(6") WB	391.8 FT
VB	60.6 FT
WD	10.5 FT



05 ENLARGED RAMP & STAIR PLAN  
1/4" = 1'-0"



01 ARCHITECTURAL & FINISH CLUBHOUSE SECOND FLOOR PLAN  
1/4" = 1'-0"

IMPORTANT NOTES TO ALL CONTRACTORS AND SUBCONTRACTORS: COMPLETE READING SYSTEM AND ON REVISIONS.  
1. ALL DIMENSIONS ARE GIVEN TO FACE UNLESS OTHERWISE NOTED.  
2. FIRST FLOOR AREAS DESIGNATED FOR FUTURE REMOVAL ARE SHOWN WITH DASHED LINES AND IDENTIFIED IN PARAGRAPHS.  
3. ALL WORK SHALL CONFORM TO THE 2020 EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC).  
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS AT THE JOB SITE PRIOR TO BEGINNING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.  
5. CLASHES OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE THE PROCEEDING WITH THE WORK.  
6. DO NOT USE SCALED DIMENSIONS. USE WRITTEN DIMENSIONS OR REFER TO DIMENSIONS IN PROVIDED DETAILS. THE ARCHITECT'S DESIGN PRECEDENCE SHALL PREVAIL.  
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